

Sierra View Town Homes

Planned Development Handbook

1st Amendment

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Chapter One - Project Description

Section 1 – Introduction

Sierra One Investments LLC a Nevada Limited Liability Company is the owner/developer of this 3-acre parcel (Assessor's Parcel Number 514-1-006) is characterized by steep slopes in the interior of the site. It is less severe to construct a road in the north and east corners of the site. A realistic access road will be provided to the portion of the project to be developed along Los Altos. The remainder of the parcel will be left as undisturbed open space. This parcel is currently zoned as a Residential Single-Family and Intermediate Density Residential (IDR) and as a result of a design of a new Open Space and Intermediate Density Residential (IDR) and as a result of a design of a new Open Space and Intermediate Density Residential (IDR) established the development standards for development of the project. The development will allow for cluster variations in lot size, building setbacks and a slight increase in building heights. To the extent possible are the allowed use that will be allowed in this project.

The Intermediate Density Residential land use designation allows six to ten dwelling units per acre. This proposal provides for a total of 30 units on 3 acres. Of the 30 units, 33 acres will be disturbed. The development of the project will be approximately 6 acres will remain as undisturbed open space. The open space will exist north and east of the site bordering existing single-family development. Thus, this clustered development will enhance the value of existing homes and sites for those homes and all homes in the vicinity of the IDR and Open Space land use designations.

Section 2 – Project Location

This 3-acre parcel is located on the north side of Los Altos (southern portion of Los Altos) and east of Vista Boulevard. Access to the site will be provided via an existing median on the east side of Los Altos that will provide for full turn of vehicles to and from the project (See Map R-1 Site Location Map).

Sierra View Townhomes

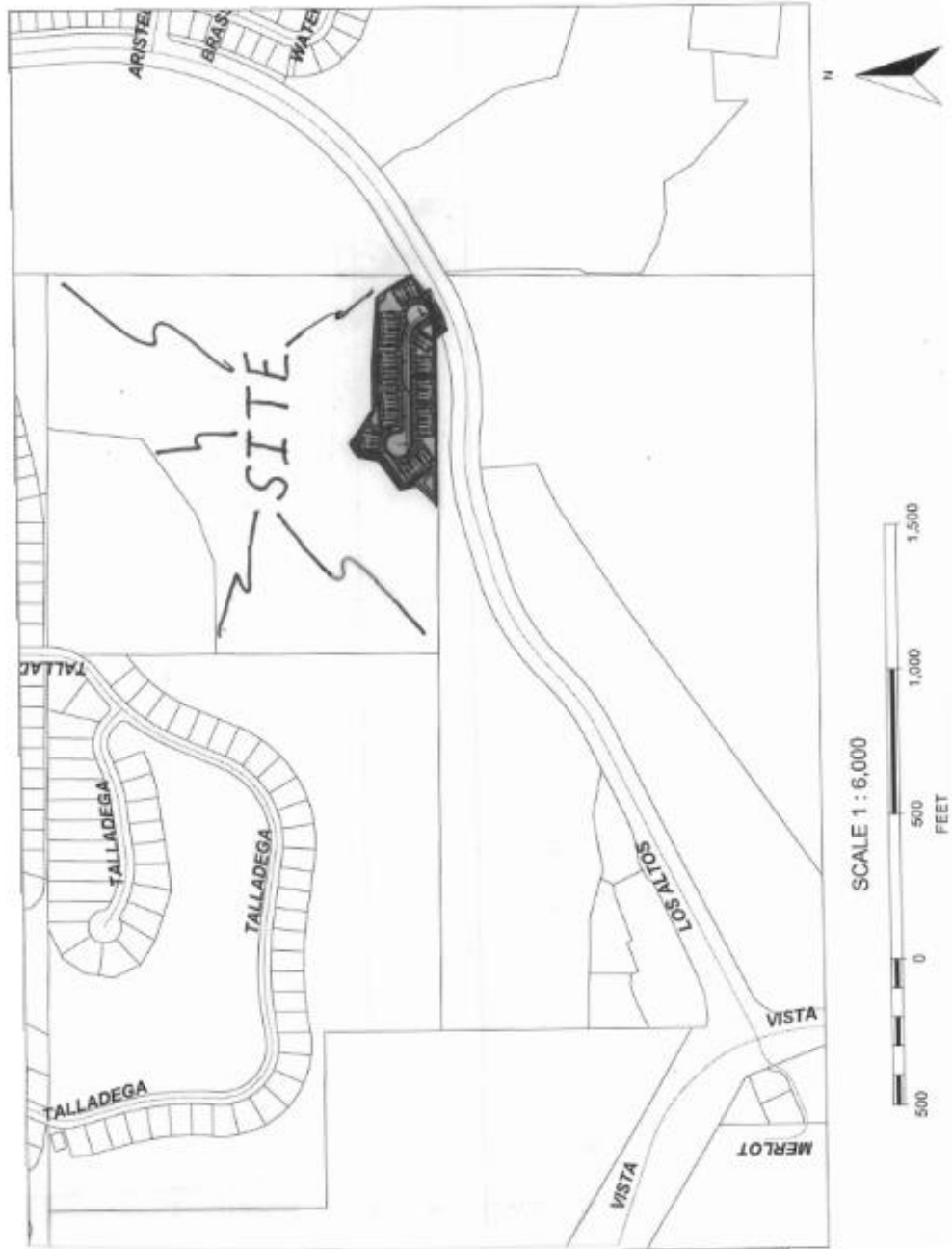


FIGURE 1 – SITE VICINITY MAP

Section 3 – Project Goals and Policies

Colloquial is a casual or unrefined development finding

- **- Sparks' Planned Development Findings:**

PD1: The plan is/is not consistent with the objective of furthering the public health, safety, morals, and general welfare by providing/not providing for housing of all types and design. - This project will provide 45 town homes for sale for moderate income families. Town Homes provide a housing type with little or no maintenance for busy homeowners while providing an attractive and safe community to live in. Thus, the plan is consistent with the objective of furthering the public health, safety, morals, and general welfare by providing for housing of all types and design

PD-2: The plan is/is not consistent with the objective of furthering the public health, safety, morals, and general welfare by providing/not providing for necessary commercial and industrial facilities conveniently located to the housing. - The proximity to the shopping center located at Baring Boulevard and Vista Boulevard provides convenient access to a commercial center in the community. The project is also across the street from a small neighborhood commercial node; a crosswalk will be installed across Los Altos to facilitate pedestrian and bicycle access to commercial sites. Thus, the plan is consistent with the objective of furthering the public health, safety, morals, and general welfare by providing housing located close to commercial facilities.

PD-3: The plan is/is not consistent with the objective of furthering the public health, safety, morals, and general welfare by providing/not providing for the more efficient use of land and public or private services. – Clustered town homes as planned provides a highly efficient use of less steep land well within parameters established by the City of Sparks for hillside development while providing significant undisturbed common areas for enjoyment of all homeowners. This infill project makes use of existing infrastructure and city services and thus, is consistent with the objective of furthering the public health, safety, morals, and general welfare by providing for a more efficient use of land and public services

PD-4: The plan is/is not consistent with the objective of furthering the public health, safety, morals, and general welfare by providing/not providing for changes in technology of land development so that resulting economies may be available to those in need of homes. – As designed, the narrow footprint and tandem parking spaces help reduce building costs making these for sale town homes more affordable to moderate income wage earners while still providing the full range of amenities typically associated with single family homes. Thus, this plan is consistent with the objective of furthering the public health, safety, morals, and general welfare by providing for changes in technology of land development so that resulting economies may be available to those in need of homes.

PD-5: The plan is/is not consistent with the objective of furthering the public health, safety, morals, and general welfare by providing/not providing for flexibility of substantive regulations over land development so that proposals for land development are disposed of without undue delay. – The planned development will allow this project to move forward rapidly through construction due to the flexibility given in the PD handbook while still protecting residents and the general public. Thus, the plan is consistent with the objective of furthering the public health, safety, morals, and general welfare by providing for flexibility of substantive regulations over land

development so that proposals for land development are disposed of without undue delay.

PD-6: The plan does/does not depart from zoning and subdivision regulations otherwise applicable to the property, and these departures are/are not in the public interest for density. – This higher density project provides an attractive alternative to more typical single family detached residential projects. The Los Altos location provides for short walks/bicycle access to commercial activities and convenient vehicle access, supportive of the higher density. Reduced setbacks and lot sizes along with increased building heights and clustering allows this project to depart from zoning and subdivision regulations otherwise applicable to the property that are in the public interest for density.

PD-7: The plan does/does not depart from zoning and subdivision regulations otherwise applicable to the property, and these departures are/are not in the public interest for bulk. – The proposed building sizes are comparable and consistent with similar housing types in the community and will provide a good transition from single family dwelling units to the north and apartments and mini-warehouse buildings located to the south. Thus, this project does depart from zoning and subdivision regulations otherwise applicable to the property, and these departures are in the public interest for bulk.

PD-8: The plan does/does not depart from zoning and subdivision regulations otherwise applicable to the property, and these departures are/are not in the public interest for use. This plan makes use of the Planned Development zoning tools to provide for reduced setbacks and lot size along with increased building heights to allow for clustering of 45 town homes while preserving +/- 90% of the site as landscaped common area/undisturbed open space. However, adequate setbacks are achieved from adjoining streets and ample common open space is provided for all residents of the community such that the departures are in the public interest for use. Thus, this project does depart from zoning and subdivision regulations otherwise applicable to the property, and these departures are in the public interest for use.

*PD-9: The ratio of residential to non-residential use in the planned development is: **No non-residential development is planned for this portion of the project.***

PD-10: Common open space in the planned development exists for what purpose, is located where within the project, and comprises how many acres (or what percentage of the development site as a whole). – Landscaped common open space exists within the developed portion of the site (1.26 acres) as well as +/-26 acres (+/-85%) of undisturbed open space located north and west of the site. Common area within the disturbed portion of the site will have numerous amenities including a small basketball court, picnic tables and barbecue area, exercise equipment, a walking/jogging path, a tot lot. These amenities will be enjoyed by the homeowners of Sierra View Town Homes. Undisturbed open space will also be enjoyed by the homeowners of Sierra View Town Homes. In summary, over 27 acres of common area is provided on this 30.55 acre site.

*PD-11: The plan does/does not provide for the maintenance and conservation of the common open space by what method. - **A homeowner's association will be formed to maintain the common area. Annual assessments, to be reviewed by the board of directors will prepare a budget annually to ensure that adequate funding is available for maintenance. Homeowners' fees will be collected for this purpose and subject to annual increases to keep up with inflation and to maintain the site in accordance with the approved PD handbook and CC&R's.***

*PD-12: Given the plan's proposed density and type of residential development, the amount and/or purpose of the common open space is determined to be adequate/inadequate. – **Approximately 26***

acres of this 30.55 site will exist as common area, more than adequate for homeowners.

PD-13: The plan does/does not provide for public services. If the plan provides for public services, then these provisions are/are not adequate. – **This infill development project located immediately adjacent to Los Altos Parkway provides a full range of convenient and accessible public services in support of both the Sparks Master Plan and Truckee Meadows Regional Plan.**

PD-14: The plan does/does not provide control over vehicular traffic. – **This 45 lot town home project generates minimal traffic that will use an existing median opening to provide for full movements to and from the site. The majority of trips entering and exiting the site should be left turns in and right turns out, further reducing vehicle impacts. Note that regional road impact fees will be paid as building permits are pulled. Thus, the plan does provide control over vehicular traffic.**

PD-15: The plan does/does not provide for the furtherance of access to light, air, recreation and visual enjoyment. - **The layout of this project provides evenly distributed and substantial common open space area, spectacular views of the community and nearby hills, and unobstructed access to light and air. Numerous recreational amenities are provided for this smaller 45 lot development. Thus, this plan does provide for the furtherance of access to light, air, recreation and visual enjoyment.**

PD-16: The relationship of the proposed planned development to the neighborhood in which it is proposed to be established is/is not beneficial. – **This development does provide a beneficial relationship to the surrounding area by providing a transition from single family homes to the north and higher intensity uses to the south such as mini-warehouse, a commercial node, and apartments. Convenient access for residents to nearby commercial opportunities, convenient vehicular access, and low traffic impacts provide a beneficial relationship to the surrounding community.**

PD-17: To the extent that the plan proposed development over a number of years, the terms and conditions intended to protect the interests of the public, residents and owners of the planned development in the integrity of the plan are/are not sufficient. – **This project will be constructed in a single phase and hence the integrity of the plan will not be affected by long term construction issues.**

PD-18: The project, as submitted and conditioned, is consistent with the City of Sparks Master Plan. - **As discussed under the master plan section of this report, the project is fully consistent with the goals and policies of the Sparks Master Plan.**

PD-19: The project is consistent with the surrounding existing land uses. – **This project is highly consistent with the surrounding land uses of commercial, multi-family, and single family residential developments.**

PD-20: Public notice was given and a public hearing held per the requirements of the Sparks Municipal code. - **A public hearing will be held per the Sparks Municipal Code.**

It is the intent of the Ordinance to ensure that the development is of high quality and does not require extensive results in a visually appealing and aesthetically pleasing manner. Sierra View Town Homes will not impair or detract from adjacent residential uses but will instead allow for the development of a clustered residential project that affords various opportunities for a serene and peaceful and undisturbed landscape and outdoor spaces that exist on a steep hillside.

Section 4 – Surrounding Land Uses

Surrounding land uses include single family residential to the north, commercial to the east, Los Altos Commercial and Industrial units to the south, and residential to the west. The site is directly to Los Altos Commercial arterial street. The residential code is directly across the street from the site and the shopping center located at Baring Boulevard and Vista Boulevard is one mile away. The site is a bicycle distance requested by the City of San Carlos. The developer will install a crosswalk across Los Altos at its intersection with Telescopio Court (to include a bus stop activated by a beacon) in a location recommended by San Carlos engineering staff to facilitate pedestrian access to commercial codes (See Figure 1 – Site Plan).

- - **Master Planned Land Use Analysis**

This is a brief analysis of master plan criteria.

IDR – Locational Criteria

This designation is the best site for the single family uses existing without a significant impact on the multi-family and commercial uses generally located near more urban areas. The site is a suitable site for the proposed residential development. Residential should be sited so as to provide a buffer to the surrounding single family residential or other uses. – **Sierra View Town Homes will consist of nine low rise structures housing a total of 45 town homes. Of the 30.55 acres, 4.33 acres will be disturbed/graded to allow the development of the 45 town homes; over 26 acres will remain as undisturbed open space. The majority of the site will be landscaped common area or undisturbed open space; approximately 90% of the site.**

Clustering allows most of the site to be preserved as open space while the developed portion falls on the less steep portion of the site adjacent to Los Altos. As discussed in the soils report, the disturbed portion of the site does not fall within any hazardous area with no earthquake faults on-site and no potential for liquefaction. Large areas of open space to the north, west, and east will be provided. This site is not located near any industrial, commercial/industrial, or tourist commercial areas. The shopping center located at Baring Boulevard and Vista Boulevard is one mile away; within walking and bicycle distance.

Section 5 – Site Analysis

This site lies outside the 100 year flood plain. The disturbed portion of the site does not fall within a hazardous area with no earthquake faults on-site and no potential for liquefaction. Runoff from the steep slope above the site is directed to San Carlos engineering staff but the design of the project provides a visual easement to attract and redirect runoff.

debris from the section of hillside above as an alternative for scale (to be maintained by the homeowner's association) will be constructed in the form of a traditional parapet to intercept flood flows from above that sheet flow down the hillside and shall prevent the storm waters into a storm drain system (See Detail C/CXXXXXXXXB(1)). The design of the storm drain system on this project was coordinated with the project engineer for the adjacent lot since the residential subdivision located directly north of the subject parcel.

Table 1 describes the impact of the proposed grading for the project in relation to Searles Code for [Chapter XXXX Development of Slopes, Hilltops and Ridges](#). Table 1 below indicates the amount of disturbed areas for each slope range described by Searles Code values in Table 1 were outlined from the slope analysis of XXXX 1XXXXR.

Table 1 – Slope Analysis, Disturbed Area per Slope Range

Range of Slope	Area Disturbed sq. ft. (+/-)	% of Area Disturbed	Area Allowed to be Disturbed
1%	XXXX1 ft ²	XXXX	XXXX33 ft ²
1-1%	6XXXX ft ²	11%	16XXXX ft ²
1-2%	13XXXX1 ft ²	7%	11XXXX7 ft ²
2-3%	6XXXX ft ²	3%	13XXXX ft ²
3-4%	XXXX71 ft ²	13%	6XXXX7 ft ²
4-5%	1XXXX ft ²	6%	7XXXX3 ft ²
	1XXXX ft ²	1%	6XXXX37 ft ²
	33 ac		1XXXX ac
	or 1XXXX of Site		or XXXXX of Site

Note: Total Site Area = 3XXXX Acres

COS HILLSIDE DEVELOPMENT - PROPERTY EXTENTS			
Slope Range (%)	Range End	Color of Property	Area (Square Feet)
0.00	15.00	Light Green	15533.17
15.01	20.00	Yellow	16.3
20.01	25.00	Light Orange	217138.86
25.01	30.00	Orange	15.9
30.01	200.00	Dark Orange	210798.68
			244566.86
			211790.25
			13.9
			253694.01
COS HILLSIDE DEVELOPMENT - DETURRED AREA			
Slope Range (%)	Range End	Color of Property	Area (Square Feet)
0.00	15.00	Light Green	55501.23
15.01	20.00	Yellow	14.1
20.01	25.00	Light Orange	28468.08
25.01	30.00	Orange	7.4
30.01	200.00	Dark Orange	13.2
			28050.48
			5.6
			10468.21

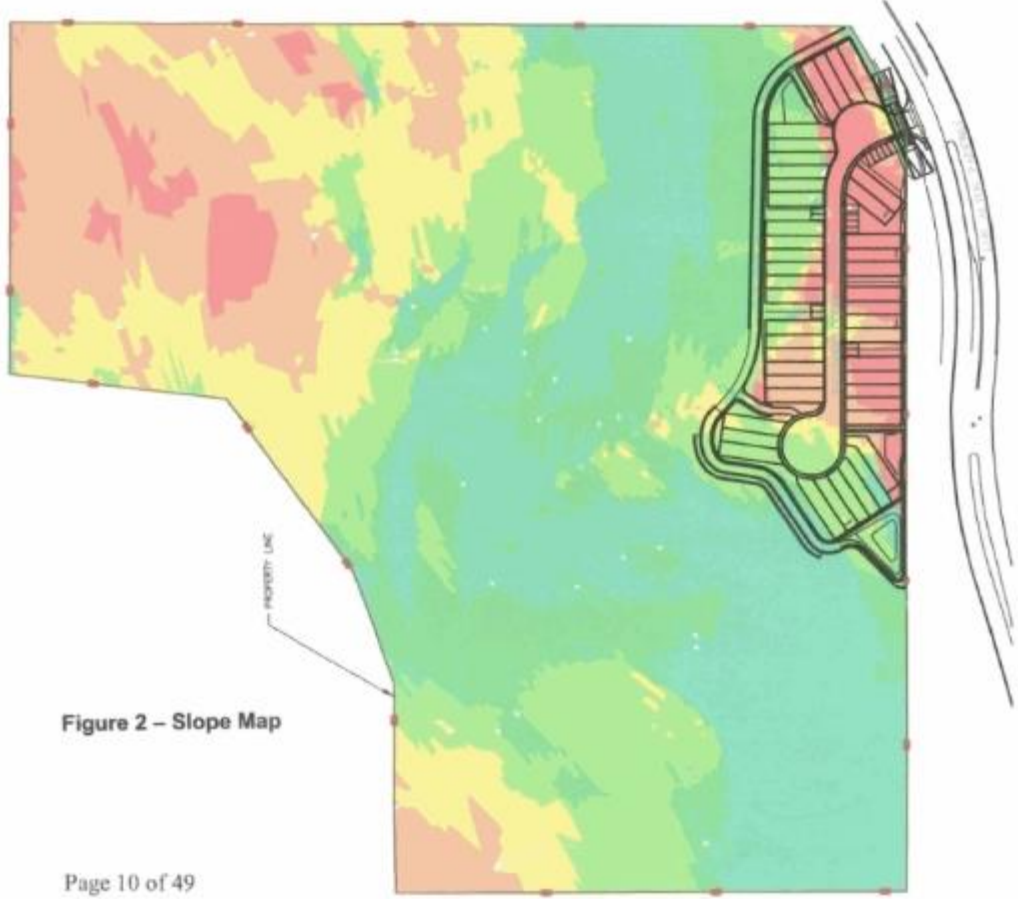


Figure 2 – Slope Map

Figure 2 – Slope Map

Portions of this 3-acre parcel are steep slopes. Table 1 shows that the portion of the parcel will remain as undisturbed open area. Of the 33 acres of the 3-acre parcel will be disturbed (0.1 acres). The slope analysis indicates that 0.1 acres or less of the parcel could be disturbed.

Section 6 – Project Description

This subdivision allows for a single use – Townhomes. Lots are proposed with units will have a tandem garage with a minimum 20’ length driveway, a kitchen, living area, one bedroom, one bathroom, a master suite. The townhomes will have a proximity to 100 to 1300 sq ft of outdoor space.

Outdoor amenities will include a 25’ deep X 30’ wide sports court, a full size dining table and a built-in barbecue with a charcoal grill. Other features include a tile patio, a total lot area of 0.7 acres of open space (See relief map of the site). Please note that the area also the portion of the site that serves as a part of the storm drain system cannot be landscaped as this would interfere with the ability of the site to collect storm waters. The developer’s association will maintain the natural drainage channel.

Proximity to 17 acres or over 30 of the 33 acre developed area will be landscaped. The undisturbed area will be left as open space in perpetuity. Project CC&R’s will require that homeowner’s dues be collected to maintain the open space in perpetuity in accordance with a maintenance plan that addresses vegetation, a tree maintenance program, debris and litter removal, fire access and suppression, and maintenance of homeowner’s access and utilities to access.

Code requires 13 car spaces at three spaces per three bedroom unit. Car spaces are provided in a 11’ 4” wide by 36’ deep tandem garage with one additional drive space per unit included. Thus each unit will have three car spaces available. Additional 7 guest car spaces are provided for a ratio of one guest space per every 17 units. Accessible spaces will be provided as required by code and all car spaces will be standard size car stalls.

Color coated street lights will be placed at the Los Altos Tejuco intersection near the sports court and adjacent to the dining area. All color coated lights will be used at the front of homes for safety and security. Pole bollard lights will be used around the perimeter for safety and security. All lighting will be fully shielded and directed illumination of the site. Metal halide, LED or compact fluorescent fixtures will be used (compact fluorescent or LED equivalent for color coated lights and 1 compact fluorescent or LED equivalent for all color coated lights and bollards).

Table 2 lists the development data for the proposed project.

Table 2 – Development Data

Project Name	Land Use	Acres	Size	Density
Sierra Vie Townhomes	Townhomes	3.000	00 lots	100 du/acre

There are no residential uses proposed on this project. The ratio of residential to non-residential uses is not applicable as this is a multi-developer lot that will use existing services. A fiscal analysis has not been prepared.

Children that live in Sierra Vie Townhomes are currently bused for the following schools:

- **Elementary School:** Beasley Elementary School
- **Middle School:** Mendive Middle School
- **High School:** Reed High School

The applicant is aware of the fact that there is no guarantee that the current school buses will remain in effect and that reconfiguring schools is a common occurrence in this county.

Section 7 – Architectural Theme

The site layout and context-oriented design of Sierra Vie Townhomes introduces the aesthetic of a nestled village on this hillside overlooking Los Altos. The architecture and eastern Spanish style neighborhood motifs will rest in the lower and more gradually sloped southern portion of a landscaped hillside and earth tones and natural-colored materials including metal or composite roofs, arched windows, Colorado bar stools, or a rustic bar house looking metal railings on the deck, and outdoor furniture. The materials and palette that will be used for this cluster development.

Two variations of townhomes are designed to take full advantage of the views and southern exposure. The primary and secondary units will have the living room (2nd floor) and master bedroom (3rd floor) at the front of the unit (Type A units). The double units will have the living room (lower or 1st floor) and master bedroom (upper or 3rd floor) at the rear of the unit (Type B units). These two variations are provided such that the primary and secondary units can be oriented to take advantage of the best possible views.

Floor plans are one and utilize 3 stories for a maximum efficient use of space for master suites, office, dining and living areas, bedrooms and two-car tandem garages (11' 4" wide X 36' long usable space). The cross-section of the project is 11' 11" deep units per acre.

Project architectural standards are fully detailed in Chapter 10 of the codebook.

Section 8 – Infrastructure

This multi-project will utilize existing services and infrastructure. The following is a brief summary of infrastructure issues:

Sewer: The proposed residential project will generate 337 gallons per day per capita basis (see attached calculations). To test the adequacy of sewer located in Los Altos shall be completed as part of the construction review process (tentative) to determine the actual capacity of the existing public sewer line is proposed to serve the development.

Water: Current townhomes will require 110,000 gallons per acre per unit. The development will require an additional 110,000 gallons per acre for a total estimated amount of 220,000 gallons per acre (assuming 100% turf as the actual landscape plan will likely be watered by drip irrigation). It is likely that actual water demand will be less. See attached calculations. Adequate water rights shall be provided for the development.

Hydrology: The project site lies outside the 100 year flood plains. Localized runoff from the hillside above is a concern of the developer and it is anticipated use as a stormwater detention basin. The project that also functions as a tradeoidal treatment facility (as defined by 909) will be placed on the uphill side of the project to intercept storm waters that sheet flow down the hillside. The tradeoidal treatment shall consist of a 100 year storm event. This design is based on input from Sparks' engineering staff. The design incorporates features desired by the State to mitigate runoff from the adjacent hillside during flash flood events. In addition, stormwaters that sheet flow from the adjacent lot situated on the residential project located north of the site on LaTota Court shall be intercepted at this project. Detention will be provided on site such that to increase in volume of flow during a 100 year storm event occurs from the development of this project. (See Appendix D 66) A box culvert will be required to cross the existing drainage canal that lies between the site and Los Altos Parkway at the street entrance to the project. The box culvert shall connect the existing canal to the adjacent and shall be to the approval of the City Engineer.

Gas, electric, and cable: This is a typical project all utilities are readily available. Adequate capacity is available.

Traffic: This project will generate approximately 6 average daily trips and 4 peak hour trips. Traffic studies are not required as the peak hour trips are far less than the peak hour trips that trigger a traffic study. Access to the project will occur from an existing media on the Los Altos Parkway. This intersection is planned to operate with a 7 foot curb on the south side of the street. The left side of the culvert is 3 feet wide and the right side of the culvert is 7 feet wide between the curb and the curb. The curb side of the culvert is on both sides. (See Appendix D 63)

Median Opening: For unsignalized intersections, the Nevada Department of Transportation requirement is to have adequate storage within a raised median left turn pocket to store three minutes' worth of left turning vehicles during the peak hour. For single family townhomes, the pm peak hour will control. Assuming all 24 pm peak hour trips use the left turn pocket during the pm peak hour, 24 vehicles per hour (VPH)/60 minutes per hour = 0.40 vehicles per minute (VPM). With 0.40 VPM X 3 minutes = 1.2 vehicles or use 2 vehicles to store during the pm peak hour. Assume 25 feet of storage required per vehicle = 50 feet of storage required. Approximately 150 feet of storage is provided; adequate for the project traffic volumes. See Appendix A for additional Traffic Information.

To avoid curbs on the street, the following will be completed at this project:

- o No curbs will be placed over 10 feet on both sides of the culvert.
- o The curb will be painted red.
- o The homeowner's association will contract with a tow company and signs will be placed below the curbs indicating that parked vehicles will be towed and removed from the site.
- o 7 foot street curbs shall be placed in several locations to connect to all corners.

Easements: The developer is not aware of any current easement restrictions that would impede development of this site or any adjacent parcels. All easements for the private road and utilities will be recorded with the local jurisdiction. All State and local utility purveyor's requirements. Construction and Maintenance Easement was obtained from the adjacent property owner to the south to allow for the construction and maintenance of the road. (Do not edit 333333) See Appendix B.

Mailbox Placement: Per the Surveyor for Mail Delivery of the United States Postal Service Office at 1000 Vista Boulevard it would be desirable to locate three 16 box cluster units on the CuldeSaca on the north side of Los Altos and to the left of the CuldeSaca. This

will allow for sale mail delivery without block-through traffic. See [redacted] for locations (Marked with an "M").

Section 9 – Project Phasing

This project will be developed in a single phase with one final plan.

Section 10 – Administration & Entitlement

The development shall be approved and adopted by the City of Sparks as a planned development project with the Design Standards as the controlling document for the project design. The adopted standards for the roadway or development. The planned development handbook will specifically regulate allowed uses, site design, parking, landscape and other on-site areas and the site plan of exterior walls and roofs. If a site is not addressed, SMC State or Federal regulations shall apply.

The administrator shall have the authority at his/her discretion to administer and approve minor deviations in the plans and standards as requested by the developer prior to the submission of a final development plan. Minor deviations include but are not limited to situations as parcel configurations, building setbacks and setbacks conditions up to 10% of standard deviation or modification that exceeds 10% will require a separate set of the final planned development.

Conformance Review:

After the pre-application meeting is completed, the applicant shall prepare and submit a final submittal package at a minimum the following items:

- A. Site plan (including scale 1 inch = 10 feet) indicating the proposed layout of the lots including the proposed building setbacks.
- B. Site plan (including scale 1 inch = 10 feet) indicating proposed locations of utilities and including the required pedestrian easements on lots over 2000 square feet.
- C. Site plan (including scale 1 inch = 10 feet) indicating relief, car, radii, illustrations, existing and proposed contours at one-foot intervals, proposed spot grades, proposed riser, floor elevations and proposed drainage patterns.
- D. Site plan (including scale 1 inch = 10 feet) indicating street landscape, proposed site landscape, lot landscape, on-site area landscape and amenities.
- E. Relief, car, architectural, color elevations on all four (4) sides of the proposed site. All illustrations including proposed building materials and colors.
- F. Elevation report, sewer report, and hydrological report.
- G. Site plan (including scale 1 inch = 10 feet) indicating lighting, strip, and details.
- H. Site plan (including scale 1 inch = 10 feet) indicating auto turn, other details for a Sparks Fire Truck to access through the site.

The plan and related materials shall only be delivered to the City for review on the same dates as the City of Sparks Tentative Subdivision or a submittal deadline dates. The submittal package shall comply with the tentative plan application requirements and fees.

The applicant must stand out of their certificate of local and/or state agencies shall comply at a prescribed time in a scheduled plan Review meeting to review the project to determine if the application is in compliance with the approved standards and City Codes.

At the plan Review meeting the proposed plan submittal is determined to be in compliance with the Sierra Fire Truck Standards handbook, the plan and submittal shall be

approved. All other standards as stated in Nevada Revised Statutes 278.360 in regard to presentation of a final map or series of final maps, extensions of time and termination of the approval. The administrator shall issue a letter to the applicant stating the approval and the conditions of approval.

If at the final review meeting the proposed map submittal is determined to not be in compliance with the Sierra View Town Home Standards Handbook, the administrator shall notify the applicant in writing as to the manner in which the application has been deemed not in compliance with the Sierra View Town Home Standards Handbook. The applicant may appeal the decision of the administrator to the Planning Commission or resubmit at the next available tentative map submittal date.

Once the map has been deemed in compliance with the Sierra View Town Home Standards Handbook, the applicant can submit to the City a final map application to process for review and approval through the manner outlined in Nevada Revised Statutes 278.360 – 278.460, inclusive and City regulations and Codes.

Chapter Two – Development Standards

Section 1 – Project Standards

The general intent of this code is designed to provide quality, low-impact, aesthetically pleasing residential development in areas undisturbed to retain the natural beauty of the Adirondack Park and the scenic views of the Adirondack Park. The code is the one and only code that applies to the Adirondack Park.

- **Town Home District:**

USES, SETBACKS, BUILDING HEIGHTS – STANDARDS

Uses and restrictions. The use of land, buildings and structures on a property associated with this codebook is subject to this chapter as well as to the general regulations and requirements of this codebook and the State Code. No uses are allowed except those specifically listed below in this chapter and the number of units is limited by the use permit. The requirements for each lot or site require the following and other restrictions listed in this chapter.

Permitted uses. Permitted uses include a residential use permit as follows: To allow a mobile home or a mobile office (1) detached units clustered on a parcel of 33 acres. To allow a mobile office trailer in a commercial zone. Section 11.00 of the State Municipal Code. Construction standards in a commercial zone. Section 11.10 of the State Municipal Code. Model Code of the Commercial zone. Section 11.00 of the State Municipal Code.

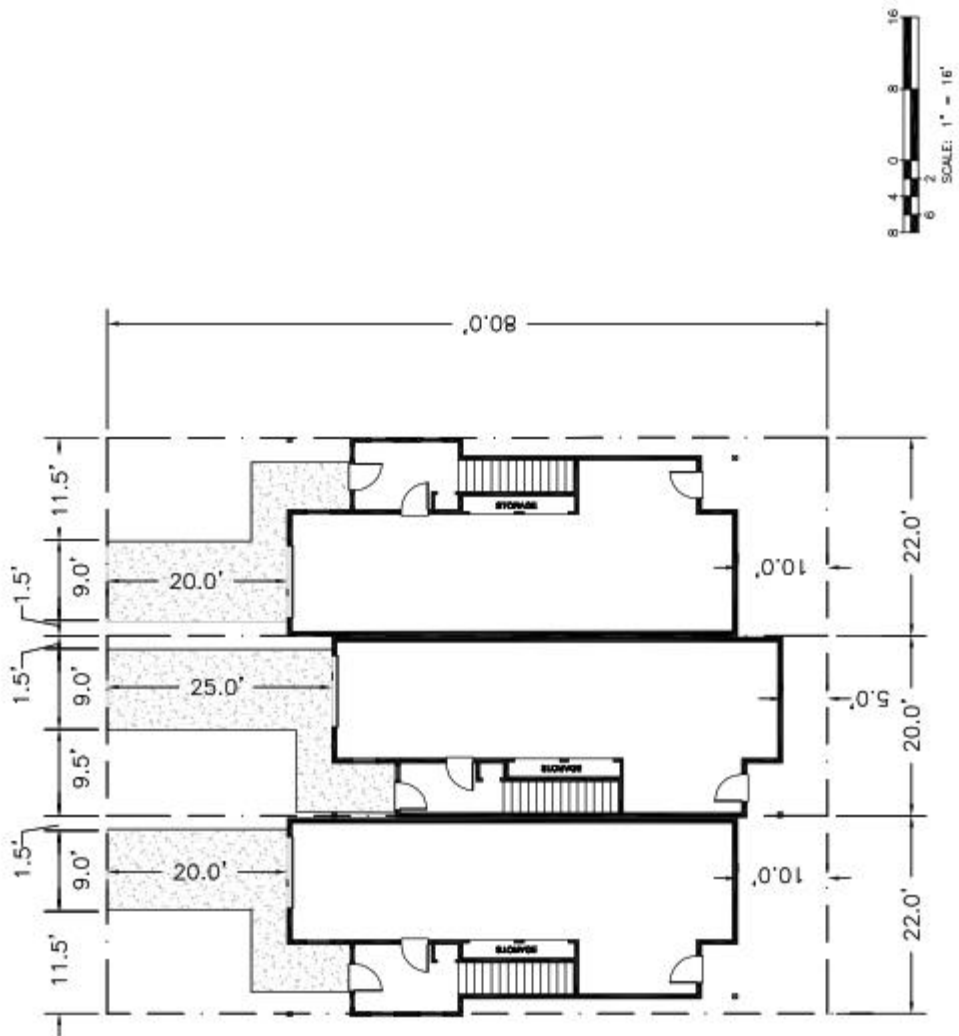
No shade structures, sheds, carports, or awnings will be allowed in rear yards. Porches will be allowed in rear yards subject to these standards and the CCOR's.

Lot and setback requirements and minimum lot sizes shall be as follows:

- Minimum to the lot size¹
 - 1. Interior unit lots of one thousand six hundred (1600) square feet
 - Single unit lots of one thousand seven hundred sixty (1760) square feet
- Maximum coverage of lot by structures: six percent
- Minimum lot area per to the lot of one thousand eight hundred square feet
- Setback requirements – Individual to the lot size (excluding sidewalk and driveway)
 - 1. Front yard: five feet
 - Rear yard: five feet
- Minimum lot width
 - 1. Interior unit lots: five feet
 - Single unit lots: five feet
- Minimum lot width: five feet
- Minimum setback between buildings: ten feet

See Appendix A for a diagram of typical lot sizes and setbacks.

¹ Includes driveway and rear yard. Homeowners will purchase an actual lot, not a building footprint. **Homeowner to maintain driveway; all landscaping in front and side yards to be maintained by Homeowner's Association. Rear yards to be maintained by Homeowner.**



TYPICAL TOWNHOME SETBACKS AND DIMENSIONS

S:\HCE-PROJECTS\144-Allen-Townhomes\Plan\17\Typical Lot.dwg, 09/13/2006 01:47:03 PM, HCE Engineering

Figure 3 – Typical lot sizes and setbacks

CONSTRUCTION AND FIRE SAFETY – STANDARDS

All to-be built buildings constructed shall conform to the applicable standards found in the adopted building and construction codes for the City of Sarasota.

All to-be built buildings constructed shall conform to the applicable standards in the adopted fire prevention and protection codes for the City of Sarasota.

All to-be built buildings will have automatic fire suppression systems installed. Fire hydrants shall be installed, inspected and approved prior to combustible material allowed on site.

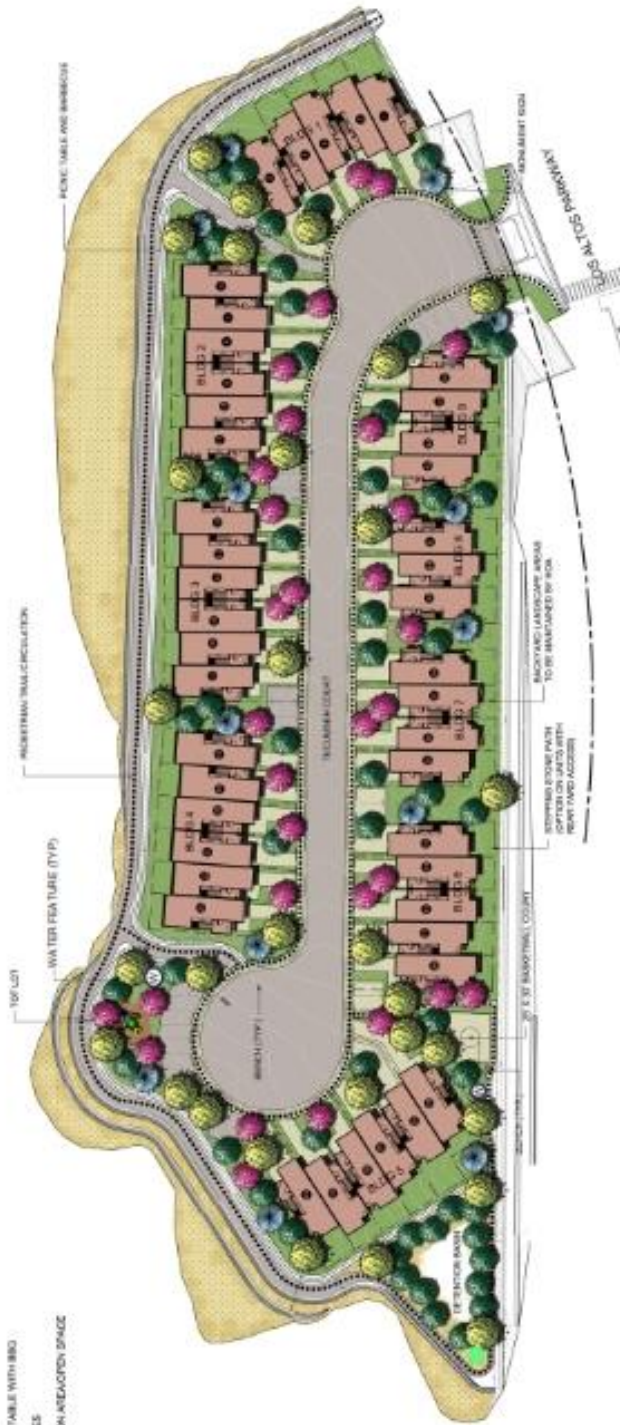
D Construction Hours – The applicant shall limit all construction and construction-related activities to the time between the hours of 7:00 a.m. to 7:00 p.m. Monday through Friday and 8:00 a.m. to 4:00 p.m. Saturday. The exception is large concrete pours that may be at 8:00 a.m. Monday through Friday upon special approval. The developer shall install signs in both Spanish and English at all access points to the project that clearly indicate these limited hours of activity on site prior to the start of any construction-related activities to the approval of the administrator. The developer shall maintain these signs in good repair for the duration of the construction of the project. Once construction is completed the developer shall remove the signs. Dust control shall be performed outside the project hours to the approval of the administrator.

Project Contact – The applicant shall designate to the administrator a project contact person responsible/authorized to correct problems regarding the project on a 24-hour basis. The applicant shall designate the project contact person to the administrator prior to issuance of a building permit for the project.

See the attached site plan and related parcels map for a graphical description of the project.

RECREATIONAL AMENITIES

1. PEDESTRIAN TRAIL (ABOUT 3,000 L.F.) *****
2. WATER FEATURE (TYP) (W)
3. BASKETBALL COURT
4. TOT LOT
5. PONG TABLE WITH BBQ
6. BENCHES
7. COMMON RECREATION SPACE



LANDSCAPE LEGEND

- Note: Tree quantities and locations indicated are approximate. Subject to site plan change and approval of local landscape maintenance department.
- DEO DUNE SHADE TREE
 - FLOWERING ORNAMENTAL TREE
 - EVERGREEN TREE
 - LANDSCAPE AREA
 - REVEGETATION AREA

GENERAL NOTES

- 1) ALL PLANTERS AND IRRIGATION SHALL BE INSTALLED PER LOCAL GOVERNING CODES.
- 2) SMALL PLANT SELECTION AND LAYOUT WILL BE BASED ON SOIL AND MICROCLIMATIC CONDITIONS. ALL PLANTS SHALL BE STATED AS TO HEIGHT, SPACING AND PLANT COLLARS INSTALLATION. PLANT SIZE AND QUALITY AT TIME OF PLANTING WILL BE PER THE AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1-2008).
- 3) ALL SHRUB BEDS WILL RECEIVE MULCH COVER.
- 4) ALL LANDSCAPING WILL BE AUTOMATICALLY IRRIGATED. TURF GRASS WILL BE IRRIGATED USING LOW ANGLE SPRAY. POTIARY AND/OR IMPACT HEADS TO REDUCE WASTAGE. IRRIGATION SYSTEMS SHALL BE INSTALLED PER THE AMERICAN SPECIFIC IRRIGATION REQUIREMENTS OF EACH SPECIES. A REGULATOR AND MULTIPLE BACKFLOW PREVENTION WILL BE PROVIDED ON THE IRRIGATION SYSTEM AS REQUIRED PER CODE.

LANDSCAPE DATA

DEVELOPED AREA: APPROX. 182,111 SF
 REQUIRED LANDSCAPE AREA: 35,540 SF (20% OF DEVELOPED SITE)
 PROVIDED LANDSCAPE AREA: 80,498 SF
 COMMON AREA: 26,263 SF
 REVEGETATION AREA: 19,022 SF
 PROJECT SITE/PLANTED AREAS: 23,871 SF
 TREES REQUIRED: 128 (1 TRUNK PER 300 SF OF INCL. LA AREA)
 TREES PROVIDED: 128



- ***Figure 5 - Preliminary Landscape Plan***

Section 2 – Street and Pedestrian System

STREETS - STANDARDS

Tecumseh Court a tree set back (27') wide street (between back allees or curbs) that terminates in a cul-de-sac bulb will be the end of the street. The depth of the bulb on the side of the street will be provided on both sides of the street. The cul-de-sac bulb will be 100' wide diameter. The cul-de-sac bulb will be a private street. The street (excluding laterals) will be public and fire hydrants shall be private. The street shall be located on a hillside is narrower than a typical Street. The street to less than 100' wide in parts to the hillside. All streets side of the road and utilities shall conform to Title 17 of the Street Municipal Code and the exhibits attached in DIX C and D.

In order to improve illegal car parking signs will be placed at approximately 100' intervals along Tecumseh Court. In addition, the homeowner's association will contract with a towing company and place additional signs below each car parking sign. The towing company will be responsible for towing illegally parked vehicles will be towed at owner's expense.

Section 3 – Parking Standards

PARKING - STANDARDS

- The driveway shall be a paved concrete or asphalt driveway with a minimum width of 36' and a depth of 11" or more.
- The driveway shall be a tree set back (20') minimum length driveway 9' in width or more additional driveway shall be provided for utility included. The driveway shall be a tree set back (20') minimum length driveway 9' in width or more additional driveway shall be provided for utility included.
- The guest driveway shall be provided for every 17 dwelling units.

Section 4 – Architecture

ARCHITECTURE - STANDARDS

Prohibited architecture shall be in substantial compliance with the attached building elevations and colors shown on figures 31 to 37. The colors 6 – 31 and 31 – 33 elevations are provided for front side and rear elevations for both Town (utility units – living area in front) and Town B (double units – living area in back). See the color and location of the color key. The color key shall provide the following architectural features (Refer to the elevations for specific details):

- Concrete or stone
- Metal Roofs or 3/4" thick concrete architectural grade Composite Roofs
- Gas fireplaces with Ceramic Materials that Complement the Building Architecture
- Colorado Barbed Woodstone for a rustic look on all units
- 1" X 8" Hardi Panel Siding
- Exterior Cement Plaster Walls
- Divided Light Entry Doors
- Metal Railings on Decks and Balconies
- Dual Paneled Entry Doors with Low Glass
- Overhead Sectional Garage Doors with Entry

- Prohibit 6' deep by 14' wide decks on second floor at front of each unit
Do not place the balcony area level with the base and will be an outdoor patio area instead of a deck
- Covered entrance
- Building exteriors maintained by Homeowner's Association

Proposed materials (see) building elevations for the two proposed building types (Type 1 and Building 31 to 37) and proposed floor plans (figures 11 through 31) follow



ARCHITECTS
INTERIOR DESIGNERS

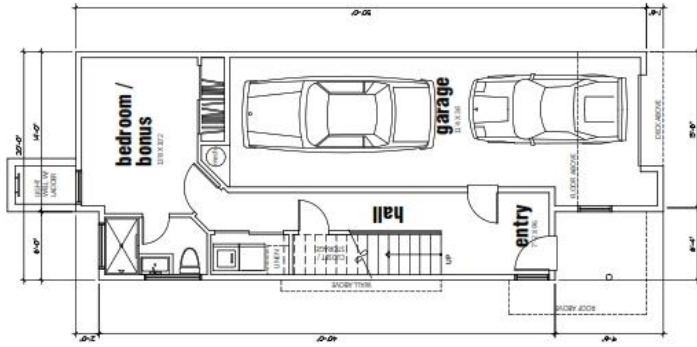


sierra view town homes
tecumseh court
sparks, nevada

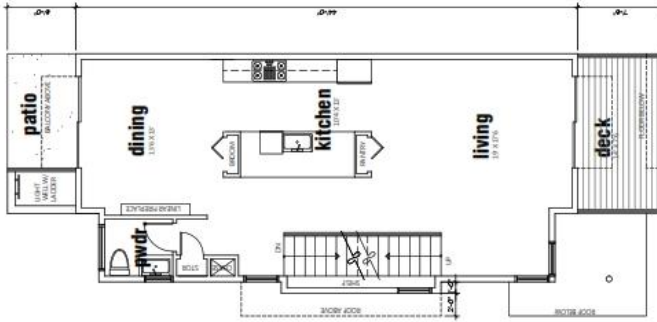
conceptual
plans
5-23-17

DATE	05/23/17
SCALE	AS SHOWN
PROJECT	SIERRA VIEW TOWN HOMES
LOCATION	TECUMSEH COURT, SPARKS, NV

A1
05/23/17



first floor plan - unit A
1/4" = 1'-0"
1st floor area: 822 sf
garage: 435 sf
living area: 2166 sf



second floor plan - unit A
1/4" = 1'-0"
area: 822



third floor plan - unit A
1/4" = 1'-0"
area: 822

UPHILL UNIT



3000 Rockwood Lane Las Vegas, NV 89115 702.735.4411 www.a31arch.com
Project

sierra view town homes
sparks, nevada

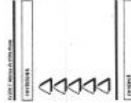
conceptual
plans
6-23-17

Scale:	1/4" = 1'-0"
Date:	06/23/17
Author:	AW/STP
Engineer:	CSB
Project:	unit 'a' 4 plex

A3.1
DRAWING
1 OF 3



UPHILL UNIT



sierra view town homes
 tecumseh court
 sparks, nevada

conceptual
 plans
 5-23-17

DATE	5/23/2017
BY	ASIA ARCH
PROJECT NO.	1704
DESCRIPTION	exterior elevations unit # 4 plex

A3.2
 1/4" = 1'-0"

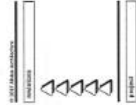


UPHILL UNIT



front elevation - unit A (5 plex)
 1/4" = 1'-0"

UPHILL UNIT



sierra view town homes
 tecumseh court
 sparks, nevada

conceptual
 plans
 5-23-17

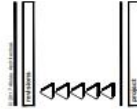
client:	A3
date:	may 23, 2017
scale:	as shown
project no.:	1709
exterior elevation unit 'a' 6 plex	

A3.4
 sheet
 6 of 11



front elevation - unit A (6 plex)
 1/4" = 1'-0"

UPHILL UNIT

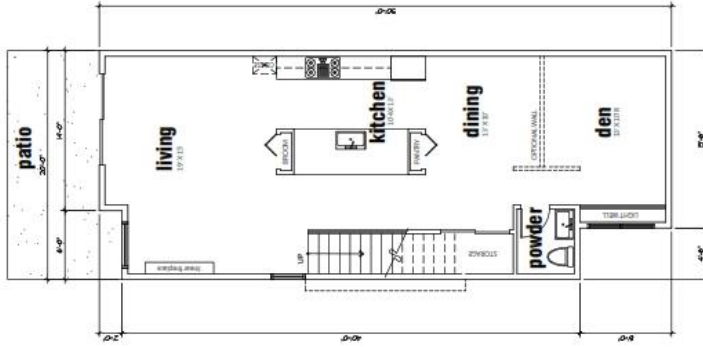


sierra view town homes
 tecumseh court
 sparks, nevada

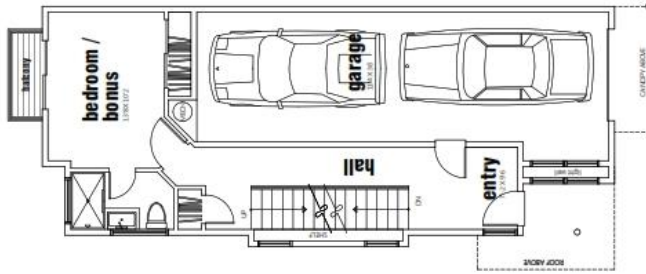
conceptual
 plans
 5-23-17

DATE	5/23/17
SCALE	AS SHOWN
PROJECT	SIERRA VIEW TOWN HOMES
CLIENT	SIERRA VIEW TOWN HOMES
DESIGNER	ABCTCTURE
ARCHITECT	ABCTCTURE
ENGINEER	ABCTCTURE
PLUMBER	ABCTCTURE
ELECTRICIAN	ABCTCTURE
MECHANICAL	ABCTCTURE
INTERIOR DESIGNER	ABCTCTURE
LANDSCAPE ARCHITECT	ABCTCTURE
PAINTER	ABCTCTURE
CONTRACTOR	ABCTCTURE
GENERAL CONTRACTOR	ABCTCTURE
OWNER	SIERRA VIEW TOWN HOMES
DATE	5/23/17
SCALE	AS SHOWN
PROJECT	SIERRA VIEW TOWN HOMES
CLIENT	SIERRA VIEW TOWN HOMES
DESIGNER	ABCTCTURE
ARCHITECT	ABCTCTURE
ENGINEER	ABCTCTURE
PLUMBER	ABCTCTURE
ELECTRICIAN	ABCTCTURE
MECHANICAL	ABCTCTURE
INTERIOR DESIGNER	ABCTCTURE
LANDSCAPE ARCHITECT	ABCTCTURE
PAINTER	ABCTCTURE
CONTRACTOR	ABCTCTURE
GENERAL CONTRACTOR	ABCTCTURE
OWNER	SIERRA VIEW TOWN HOMES

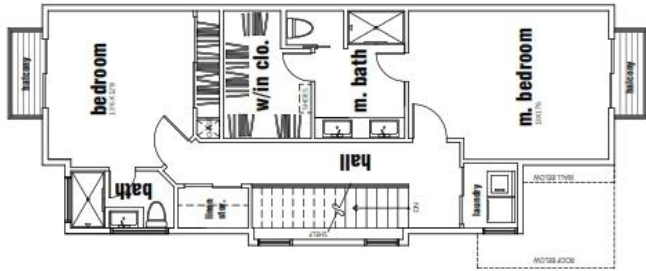
A2
 5/23/17



daylight basement plan - unit B
 1/4" = 1'-0"
 area: 918 sf

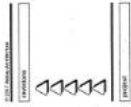


first floor plan - unit B
 1/4" = 1'-0"
 area: 489 sf
 garage: 468 sf
 living area: 2,322 sf



second floor plan - unit B
 1/4" = 1'-0"
 area: 906 sf

DOWNHILL UNIT



sierra view town homes
tecumseh court
sparks, nevada

conceptual
plans
5-23-17

DATE	NOV 23, 2017
BY	AK/AM
PROJECT NO.	1109

A3.7

1 of 3



front elevation - unit B (6 plex)
1/4" = 1'-0"

DOWNHILL UNIT

Section 5 – Exterior Mechanical Equipment, Trash Enclosure Screening, and Mailbox Cluster Location

ELECTRICAL AND MECHANICAL EQUIPMENT SCREENING - STANDARDS

- Paint colors will take individual gas/electrical and water meters
- Gas meters shall be screened with ladders or enclosed in architectural and color compatible housings to the satisfaction of the administrator
- Electrical panels shall be placed in a concealed location and not visible from the street
- Water meters shall be installed below grade
- Trash containers shall be kept inside the garage
- Three 16-box Mailbox Cluster units shall be located as follows: one at the middle right of Los Altos and two in the cul-de-sacs. This will allow for safe mail delivery without blocking through traffic. See CC&R for locations (Marked with an "M").

Section 6 – Landscape Architecture

LANDSCAPING - STANDARDS

- **Required area to be landscaped:** 30% of disturbed site area (3000 sq ft)
- **Proposed area to be landscaped:** 30% of disturbed site area as follows:
 - ✓ Court area 3600 sq ft (to be landscaped below deck)
 - ✓ Retention area 1000 sq ft (to be landscaped below deck)
 - ✓ Front and Rear yards 1000 sq ft (to be landscaped below deck)
- **Minimum area to remain undisturbed** – 6000 sq ft
- **Maintenance** – All court area and front yard landscaping to be maintained by the Homeowner's Association. Rear yards will be maintained by individual homeowners. Landscaping maintenance easement will be placed on the tentative and final map and recorded in the CC&R's.
- **Trees and Shrubs** One tree shall be planted for every 300 square feet of required landscaping area to include one tree in front yard. Six shrubs shall be planted for every tree. Deciduous trees shall be a minimum 2" in caliper. Evergreen trees shall be a minimum six feet in height. In a minimum evergreen trees eight feet in height. Varieties of evergreen and deciduous trees shall be provided to the approval of the administrator. Trees shall be clustered to preserve views from the residential units and avoid sight distance impacts at project entries. 600 sq shrubs shall be allocated in site and 1000 sq shrubs shall be allocated in site. **Trees and shrubs shall not impact required safe stopping sight distance at the project entry with Los Altos; to be verified by a licensed engineer.**
- **Turf** Turf grass yard for the great Basin area shall be used in portions of front yards to provide a desirable residential character. Note that turf shall be used in rear yards but limited to a maximum of 10% of the rear yard area.
- **Ground Cover** Round coverings shall be provided over the portion of the landscaping area where there are no trees/turf or shrubs. Round coverings shall include living plants such as shrubs, sedum, grasses and wild flowers or other living ground

covers good quality barbed decorative rock or other decorative materials and also be used for a maximum of 10% of the total landscaped area

- **Edging around Ground Cover** – Plastic, steel or other appropriate edging material shall be provided around ground cover beds to retain loose ground cover material
- **Drought Resistant Plants** – Plants and plant materials shall be used where are drought resistant
- **Efficient Irrigation System** – An efficient irrigation system shall be utilized in construction of all landscaped areas according to water use
- **Neatly Maintained** – All landscaped areas will be maintained in a neat and attractive condition at all times. Minimum requirements include regular dead or dying plant materials, mulch, debris and general cleanliness
- **Similar Watering Requirements** – Plants selected shall be grouped into those that have similar watering requirements
- **Automatic Irrigation** – All landscaped areas shall have automatic irrigation systems and sensors shall be installed on all overhead irrigation systems to avoid water during inclement conditions
- **Edging Materials** – Concrete, brick, pavers and side walks retaining walls as well as patios and redwood leaders are acceptable edging materials
- **Mulch** – Mulch shall be placed in a minimum depth of 2 inches around all landscaped areas excluding turf and lawn areas

See Appendix 16 and 37 for a complete list of typical lot landscaped areas

LANDSCAPE STANDARDS

- All landscape area landscaped and replanting shall be installed prior to the issuance of a certificate of occupancy. All landscaped in **front** and **rear** yards of the to be completed shall be installed prior to the issuance of a certificate of occupancy for that particular to be completed

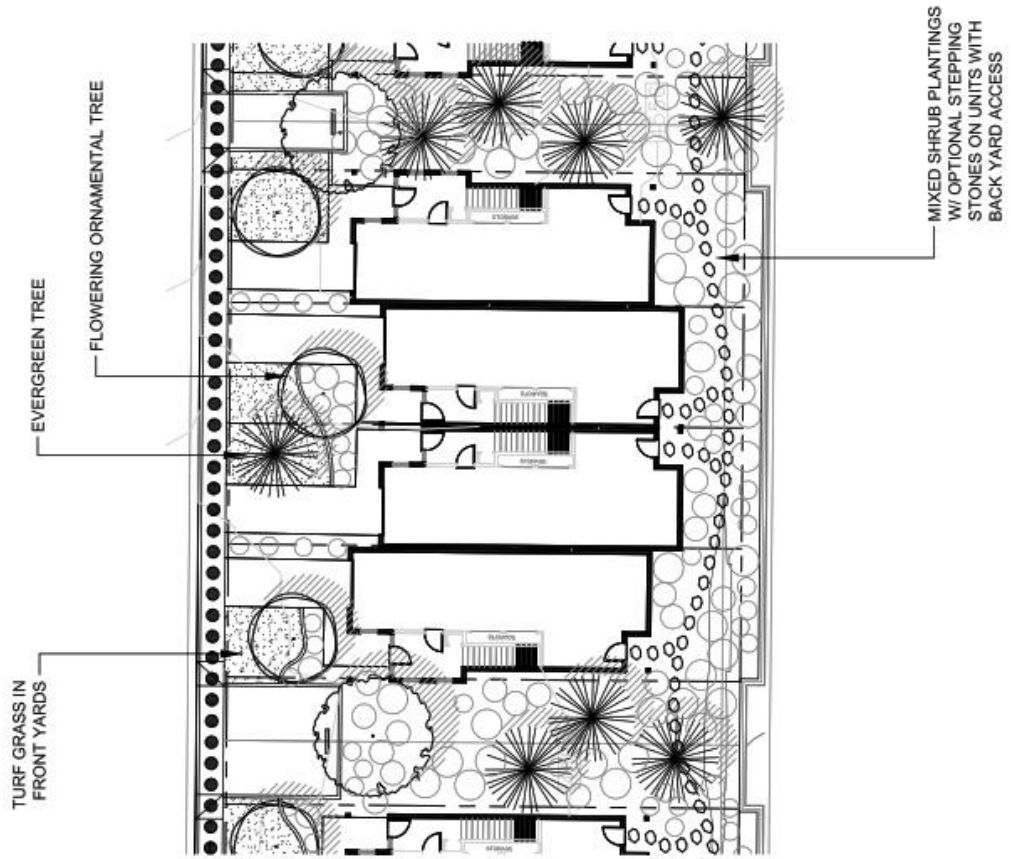
REQUIREMENTS – STANDARDS

THE FOLLOWING REQUIREMENTS TO BE MET BY THE HOMEOWNERS ASSOCIATION SHALL BE PROVIDED

- **Sports court** – A 25' deep X 30' wide sports court to include a single basketball hoop and strapping around the perimeter and deck (See Appendix 17 and Appendix 30 and 31 for 25' X 30' court details). The court will also allow for Bocce Ball, Pickle Ball and other activities
- **A shade structure** with a detachable adobe or a barbecue area with a built-in charcoal grill with attached porch area (See Appendix for shade structure, barbecue, Appendix 17 and Appendix 30)
- **A +/-2,500 lineal feet walking/jogging path** – The path shall be constructed of asphalt concrete with a reinforced structural section (excluding street sidewalks that are portland cement concrete) and shall have a minimum width of 6 feet. Base coats will be provided for an area where the path crosses a private lot (See Appendix 3)

- **Water features** shall be provided in two separate locations that adjoin the sports court and barbecue area (See R 1000000)
- **A tot lot** with a commercial grade fire surrounded equipment that provides a minimum of three activities (See R 1000000)
- +/- 6 acres of undisturbed wooded area
- **Maintenance** – All amenities will be maintained by the homeowner's association in accordance with related industry standards

See Figures 16 through 17 of Appendix 37 for additional information on amenities



Reference , Figure
5 - Preliminary
Landscape Plan

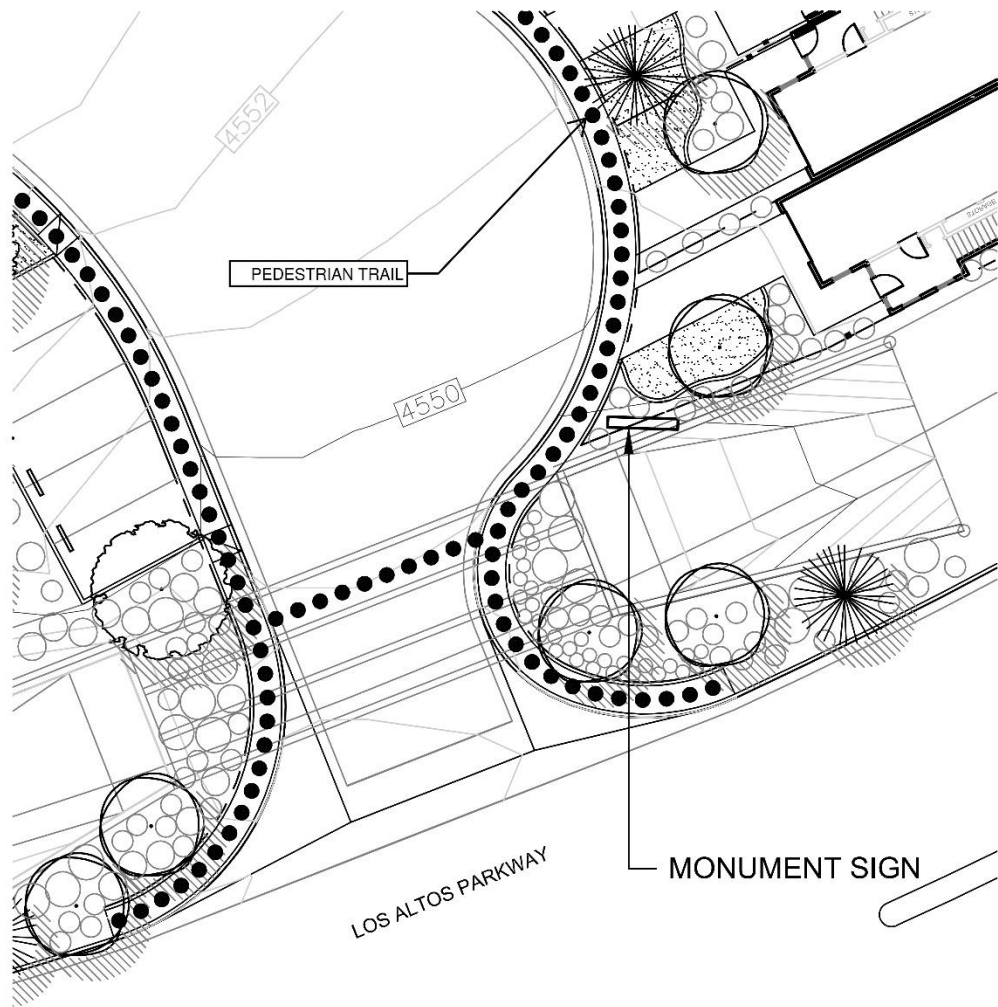
TYPICAL LOT LANDSCAPE

FIGURE 16



FIGURE 17

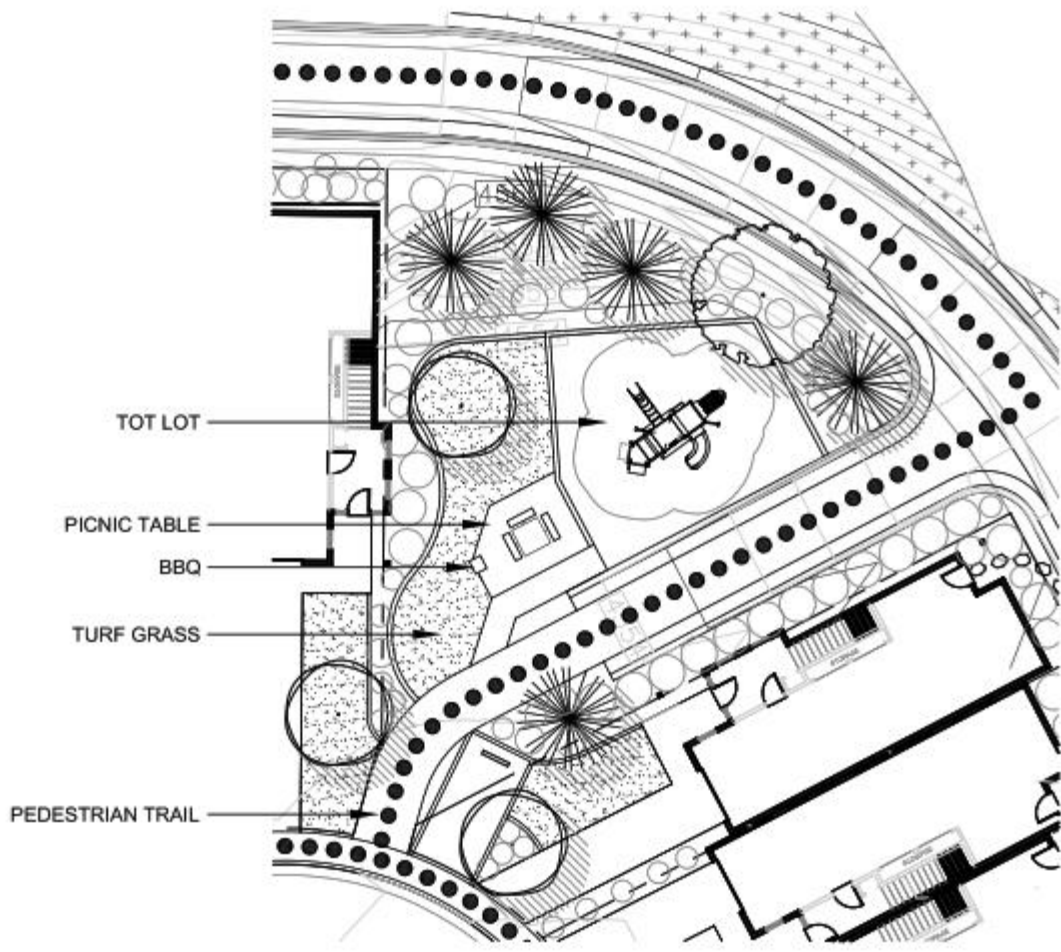
Shade Structure, Sports Court (25' X 30') and Barbecue Details



COMMUNITY ENTRANCE

Reference Figure - 5
 Preliminary
 Landscape Plan

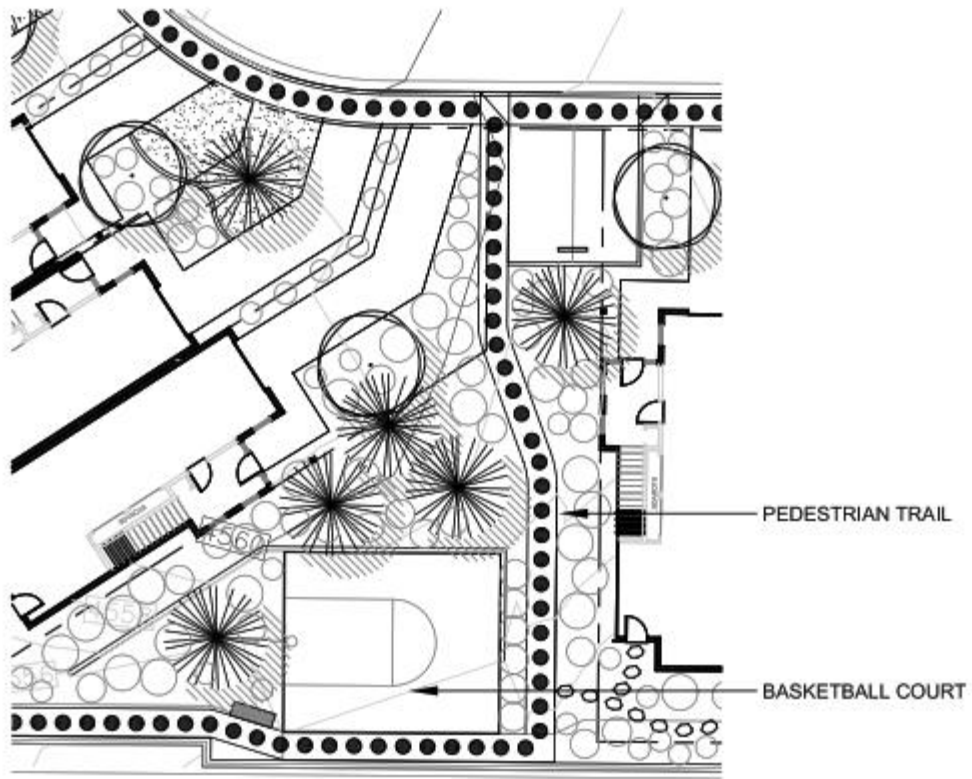
FIGURE 18



PLAY AREA

Reference Figure - 5
 Preliminary
 Landscape Plan

FIGURE 19



Reference Figure - 5
Preliminary
Landscape Plan

BASKETBALL COURT

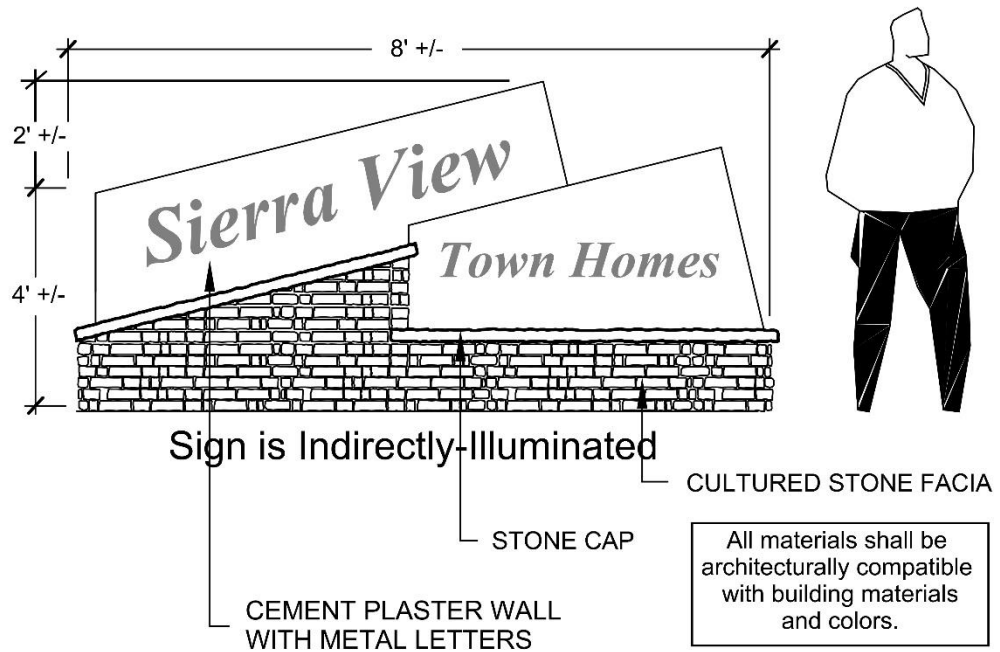
FIGURE 20



FIGURE 21 – TYPICAL WATER FEATURES

Section 7 – Signs

Monument signs will be placed at the project entrance to the Court and Los Altos Parkway that states, "Sierra View Town Homes". The monument sign will be a maximum six feet in height and eight feet in length and will be illuminated in direct or indirect lighting using low voltage fixtures that are shielded such that light is not cast upon the monument signs. All signs shall be architecturally compatible in color and material colors of the homes. Illuminated address signs will be provided for each home to provide clear visibility for emergency services (See attached text schedule).



ENTRY MONUMENT SIGN

FIGURE 22

Section 8 – Lighting

Street lights will be pole mounted LED lights in accordance with City of Sparks and will require electric pole mounted lights will be fully shielded and dark sky certified to provide control of light trespass street lighting fixture will auto require electric reduce unshielded glare and electric visibility Decorative lights will be used for all mounted lighting all street exterior lighting (excluding roof egress or lighting) will be maintained by the homeowner's association, including replacement of light bulbs.

LIGHTING STANDARDS

Pole mounted LED lights will be used at the intersection of Tequise Court and Los Altos Parkway (20' diameter pole height above the concrete foundation) and for the basketball court and picnic areas (12' diameter pole height above the concrete foundation). Court and picnic area lights will be on timers to shut off at 11:00 PM during standard time and 11:00 PM during daylight savings time. Pole mounted lights will

- provide uniform well defined illumination along all areas and corners areas between buildings
- utilize lower pole heights of 12' in recreation areas to create a sense of scale in pedestrian spaces

All street exterior lighting (excluding building lighting, roof egress or lighting and rear patio lighting) will be maintained by the homeowner's association, including replacement of light bulbs.

All lighting shall be compatible with the building architecture and colors.

All mounted lights will be used in the roof egress or safety and security. Lights will use maximum 75W or 100W metal halide bulbs and or LED equivalent and will incorporate motion sensors where practical such that lighting is only provided when needed.

Decorative lighting including decorative bollard lights will be used at 100 foot intervals to provide safety and security lighting for the portion of the Parkway that runs around the cul-de-sac bulb.



FIGURE 25 – TYPICAL BOLLARD LIGHT

Section 9 – Walls & Fencing

WALLS – STANDARDS

Retaining walls that are a maximum height of 6 feet will be used. If multiple walls are used, they shall have a minimum separation of six feet (6') to allow for terracing and landslides between walls. (See engineering Details in Appendixes) Note that no landslides will be provided with the debris catchment area that adjoins the front and westside of the lots as the area between these retaining walls is needed to catch storm water runoff and debris.

All retaining and retaining walls shall conform with the tentative plan for the Countywide Review process described in Chapter 1 Section 1 of the Ordinance and the City of San Carlos' Subdivision Code and policies certain to retaining walls. Retaining walls will be maintained by the Homeowner's Association.

FENCING – STANDARDS

Fences (to be maintained by the Homeowner's Association) are only allowed in rear yards and along the southern property line adjacent to Los Altos. A maximum height is (a) 6 feet in rear yards and (b) 4 feet along the southern property line adjacent to Los Altos. (See fence exceptions below for costs and caps). All fences shall be to the satisfaction of the Ordinance Administrator and the City of San Carlos building code requirements. No chain-link fence is allowed.

Only decorative wood fences compatible with building materials, colors and architectural style is allowed in rear yards. Posts shall be pressure treated 4" X 4" lumber painted white with 30" minimum length below grade. Cross rails shall be pressure treated 2" X 4" lumber painted white. All other fence materials shall be suitable for outdoor use and San Carlos' climate. Decorative toepail and decorative post caps must be used. The cost of decorative post caps shall be a maximum 5' 6" in height. No dog ear fencing is allowed.

To avoid graffiti issues, non-blendable decorative fences are allowed along the southern property line adjacent to Los Altos. Posts shall have a 30" minimum length below grade. Fence posts with decorative caps may be a maximum 5' 6" in height. (See other examples below). Fences through the blendable shall be screened using either dense shrubs and/or trees to the satisfaction of the Ordinance Administrator.



APPENDICES

- A. LEFT TURN MEDIAN OPENING ON LOS ALTOS PARKWAY**
- B. CONSTRUCTION AND MAINTENANCE EASEMENT, DOC #4354282**
- C. PRELIMINARY ENGINEERING DRAWINGS**
 - a. CIVIL SITE & GRADING PLAN**
 - b. CIVIL CROSS SECTIONS**
 - c. OVERALL PARCEL TOPOGRAPHY & NOTES**
- D. ENGINEERING DETAIL SHEETS**
 - a. ROADWAY SECTION**
 - b. ROCKERY WALL WITH INTERCEPTOR SWALE**
 - c. ROCKERY RETAINING WALL AND BENCHES**
 - d. DETENTION CROSS SECTION**

APPENDIX A - LEFT TURN MEDIAN OPENING ON LOS ALTOS PARKWAY

To ensure adequate left turn storage for the project on Los Altos Parkway, the California Department of Transportation (DOT) requires that where considered or utilized at intersections, the California Department of Transportation requires that it be adequate storage provided a raised median left turn storage pocket to store three minutes' worth of left turn vehicles during the peak hour or this should be allowed to be provided the peak hour will control issues in all of the peak hour trips use the left turn pocket during the peak hour. Vehicles per hour (VPH) 60 minutes per hour = 1000 vehicles per minute (VPM) 1000 VPM X 3 minutes = 3000 vehicles or use 3000 vehicles to store during the peak hour. Issue of storage required per vehicle = 3000 vehicles required. The left turn median opening will provide for approximately 1000 feet (1000) of left turn storage; adequate for the project traffic volumes.

According to the Regional Transportation Commission's 2040 Regional Transportation Plan (RTIP), Los Altos Parkway is a traffic Moderate Access Control arterial according to Table 3 of the following table of the Regional Transportation Commission's "Average Daily Traffic Level of Service Thresholds by Capacity Type for Roadway Classification Table Moderate Access Control Arterial Street Functions at a Level of Service "D" with an average daily traffic volume of 17,000 ADT. A Level of Service "D" is the current adopted level of service for Los Altos Parkway.

The only proposed identified in the RTIP for Los Altos is the addition of bicycle lanes in the 7-mile travel corridor. The proposed projects are identified. Thus, it can be concluded that the proposed left turn median opening will function adequately and will be adequate storage provided.

**Table 3-4
Average Daily Traffic Level of Service Thresholds
By Facility Type for Roadway Planning**

Facility Type	Maximum Service Flow Rate (daily for Given Service Level)				
Number of Lanes	LOS A	LOS B	LOS C	LOS D	LOS E
Freeway					
4	≤ 28,600	42,700	63,500	80,000	90,200
6	≤ 38,300	61,200	91,100	114,000	135,300
8	51,100	81,500	121,400	153,200	180,400
10	63,800	101,900	151,800	191,500	225,500
Arterial-High Access Control					
2	n/a	9,400	17,300	19,200	20,300
4	n/a	20,400	36,100	38,400	40,600
6	n/a	31,600	54,700	57,600	60,900
8	n/a	42,500	73,200	76,800	81,300
Arterial-Moderate Access Control					
2	n/a	5,500	14,800	17,500	18,600
4	n/a	12,000	32,200	35,200	36,900
6	n/a	18,800	49,600	52,900	55,400
8	n/a	25,600	66,800	70,600	73,900
Arterial/Collector-Low Access Control					
2	n/a	n/a	6,900	13,400	15,100
4	n/a	n/a	15,700	28,400	30,200
6	n/a	n/a	24,800	43,100	45,400
8	n/a	n/a	34,000	57,600	60,600
Arterial/Collector-Ultra-Low Access Control					
2	n/a	n/a	6,500	13,300	14,200
4	n/a	n/a	15,300	27,300	28,600
6	n/a	n/a	24,100	41,200	43,000
8	n/a	n/a	33,300	55,200	57,400

**APPENDIX B - CONSTRUCTION AND MAINTENANCE
EASEMENT, DOC #4354282**

When Recorded, Mail to:

OLSEN INVESTMENTS, LLC
c/o Dr. Shauna Olsen
1699 S Virginia St # 100
Reno, Nevada 89502-2834

DOC # 4354282

05/14/2014 03:48:26 PM
Requested By
KENNETH B KRATER
Washoe County Recorder
Lawrence R. Burtness - Recorder
Fee: \$22.00 RPTT: \$0.00
Page 1 of 6



APN# 514-370-01

GRANT OF CONSTRUCTION AND MAINTENANCE EASEMENT

THIS GRANT OF EASEMENT, made and entered into this 12 day of May 2014, by and between BARKER HOMES, INC., a Nevada corporation, as owner of Parcel 3 of Parcel Map No. 3746 according to the map thereof filed in the office of the County Recorder of Washoe County, State of Nevada on January 26, 2001, as File No. 2519022, Official Records, herein referred to as "GRANTOR", and OLSEN INVESTMENTS, LLC, hereinafter referred to as "GRANTEE".

WITNESSETH

For and in consideration of the sum of One Dollar (\$1.00) and other good and valuable consideration, receipt is hereby acknowledged, GRANTOR hereby grants to the GRANTEE a permanent easement and right-of-way for the construction and maintenance of rockery/retaining walls and landscaping, over, across and through the land herein described, together with the perpetual right to enter upon said land to construct, reconstruct, maintain and repair said rockery/retaining walls and landscape improvements and the further right to remove trees, bushes, undergrowth and other obstructions interfering with the location, construction and maintenance of said rockery/retaining walls and landscape improvements.

The easements and right-of-way hereby granted to provide rockery/retaining walls and landscape improvements for a residential development and associated accessory uses is situate in the County of Washoe, State of Nevada, more particularly described in Exhibit "A" and depicted on Exhibit "B", which are attached hereto and by this reference made a part hereof.

TO HAVE AND TO HOLD, said easement and right-of-way unto the GRANTEE and unto its successors and assigns forever.

This is a nonexclusive Grant of Easement and to the extent other uses do not interfere with the use of said easement by GRANTEE as permitted herein, GRANTOR, its successor and assigns, shall be permitted to use the same for any purpose they may desire. The easement addendum attached hereto is incorporated herein by this reference.

The covenants and agreements herein contained shall inure to the benefit of and shall be binding upon executors, administrators, heirs, successors and assigns of the parties and shall be, and are, covenants running with the land binding upon said property of GRANTOR and for the benefit of GRANTEE.

WHEREAS

Anything in this instrument to the contrary notwithstanding, Grantee by recording this instrument and/or exercising the rights herein granted agrees to the following conditions:

(a) The easement(s) herein granted are subject to all easements and encumbrances of record and are nonexclusive provided later granted easements shall be subject to Grantee's rights and uses.

(b) All rockery/retaining walls and landscape improvements and their related components and supports placed within the described easement area(s) by Grantee, or Grantee's agents or contractors, pursuant to this instrument ("Grantee's property") shall remain the property of Grantee.

(c) Grantor and its successors and assigns retain the right to full use of the surface of the described easement area(s) except where Grantee has placed Grantee's Property, provided, however, Grantor will not erect any building or major structure within the described easement area(s).

(d) Grantee shall at all times safely operate and maintain Grantee's Property within the described easement area(s) and shall promptly repair and restore to its prior condition any improvements existing within the described easement area(s) which are disturbed by the construction or maintenance of Grantee's Property by Grantee, or Grantee's agents or contractors.

(e) Grantee shall not in the exercise of the within easement(s) unreasonably interfere or obstruct Grantors, or Grantor's agents or contractors, in the location or construction of any improvements located in the area adjoining the described easement area(s), or unreasonably interfere with any business of Grantor. Nothing in this Paragraph (e), however, shall allow Grantor or Grantor's agents or contractors to construct a building or other major structure within the described easement area as provided in Paragraph (c) herein, or to unreasonably interfere with Grantee's rights to construct, operate and maintain Grantee's Property hereunder.

(f) After recording this instrument, Grantee shall provide Grantor with the date, instrument number, book and page of recording.

(The remainder of this page is left intentionally blank.)

IN WITNESS WHEREOF, the GRANTOR hereto has executed this Grant of Easement the day and year first above written.

EXECUTED on this 12 day of May, 2014

Grantors:

BARKER HOMES INC.
A Nevada corporation

By: Devere Barker

Name: Devere Barker

STATE OF Nevada)
)ss
COUNTY OF Washoe)

This instrument was acknowledged before me on this 12th day of May, 2014

by Devere Barker as Manager of Barker Homes Inc., a Nevada corporation

Diane Taylor
Notary Public





Land Information Solutions

TRI STATE SURVEYING, LTD.

1925 E. Prater Way, Sparks, Nevada 89434
Telephone (775) 358-9491 ♦ FAX (775) 358-3664
Toll Free: 1-800-411-3752

Project No. 14067.01.RC
May 5, 2014

**EXHIBIT A
LEGAL DESCRIPTION
CONSTRUCTION AND MAINTENANCE EASEMENT**

All that certain parcel situate within a portion of the Southeast One-Quarter (SE 1/4) of Section Twenty-six (26), Township Twenty (20) North, Range Twenty (20) East, Mount Diablo Meridian, City of Reno, Nevada and being a portion of Parcel 3 of Parcel Map No. 3746, filed January 26, 2001 in the Office of the County Recorder of Washoe County, Nevada as File No. 2519022, said parcel being more particularly described as follows:

BEGINNING at the northeast corner of Parcel 3 of said Parcel Map, being on the northerly right-of-way line of Los Altos Parkway, from which the southeast corner of said Section 26, as shown on said Parcel Map No. 3746, bears South 06°17'01" East, 1326.19 feet;

THENCE from the POINT OF BEGINNING, along the northerly line of said right-of-way of Los Altos Parkway, being the southerly line of said Parcel 3, from which a radial line bears of North 20°35'03" West, 353.19 feet along the arc of a 750.00 foot radius curve to the right, through a central angle of 26°58'55", to a point of reverse curvature;

THENCE continuing along said northerly right-of-way line of Los Altos Parkway, being the southerly line of said Parcel 3, 329.07 feet along the arc of a 850.00 foot radius curve to the left, through a central angle of 22°10'53";

THENCE continuing along said northerly right of-way line of Los Altos Parkway, being the southerly line of said Parcel 3, South 74°12'59" East, 206.24 feet to the beginning of a curve to the right;

THENCE continuing along said northerly right of-way line of Los Altos Parkway, being the southerly line of said Parcel 3, 299.76 feet along the arc of a 850.00 foot radius curve, through a central angle of 20°12'29";

Thence leaving said northerly right of-way line of Los Altos Parkway, being the southerly line of said Parcel 3, North 00°23'45" East, 267.03 feet to the southwest corner of Parcel "B" of Parcel Map No. 4397, filed June 17, 2005 in the Office of the County Recorder of Washoe County, Nevada as File No. 3231787, said point being on the northerly line of the above mentioned Parcel 3;

Thence along the southerly line of said Parcel "B", being on the northerly line of the above mentioned Parcel 3, South 89°27'44" East, 1138.37 feet, to the above mentioned POINT OF BEGINNING.

Said Parcel contains 2.33 Acres (101,337 square feet), more or less.

The BASIS OF BEARINGS for this description is Parcel Map No. 4397, filed June 17, 2005 in the office of the County Recorder of Washoe County, Nevada as File No. 3231787.

Date: 5/6/2014
Lee H. Smithson, P.L.S.
Nevada Certificate No. 5097



EXHIBIT A

APPENDIX C - PRELIMINARY ENGINEERING DRAWINGS

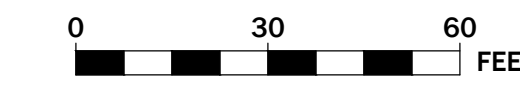
a. CIVIL SITE & GRADING PLAN

LEGEND

- 100.00 FG ELEVATION TAG
- RETAINING WALL (TOP OF WALL, BOTTOM OF WALL AT FINISHED GRADE, WALL HEIGHT)
- ROCKERY WALL
- MASONRY OR BLOCK WALL
- RIPRAP AREAS
- 4.9% SLOPE

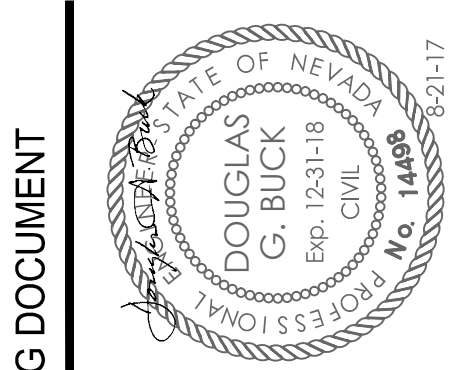
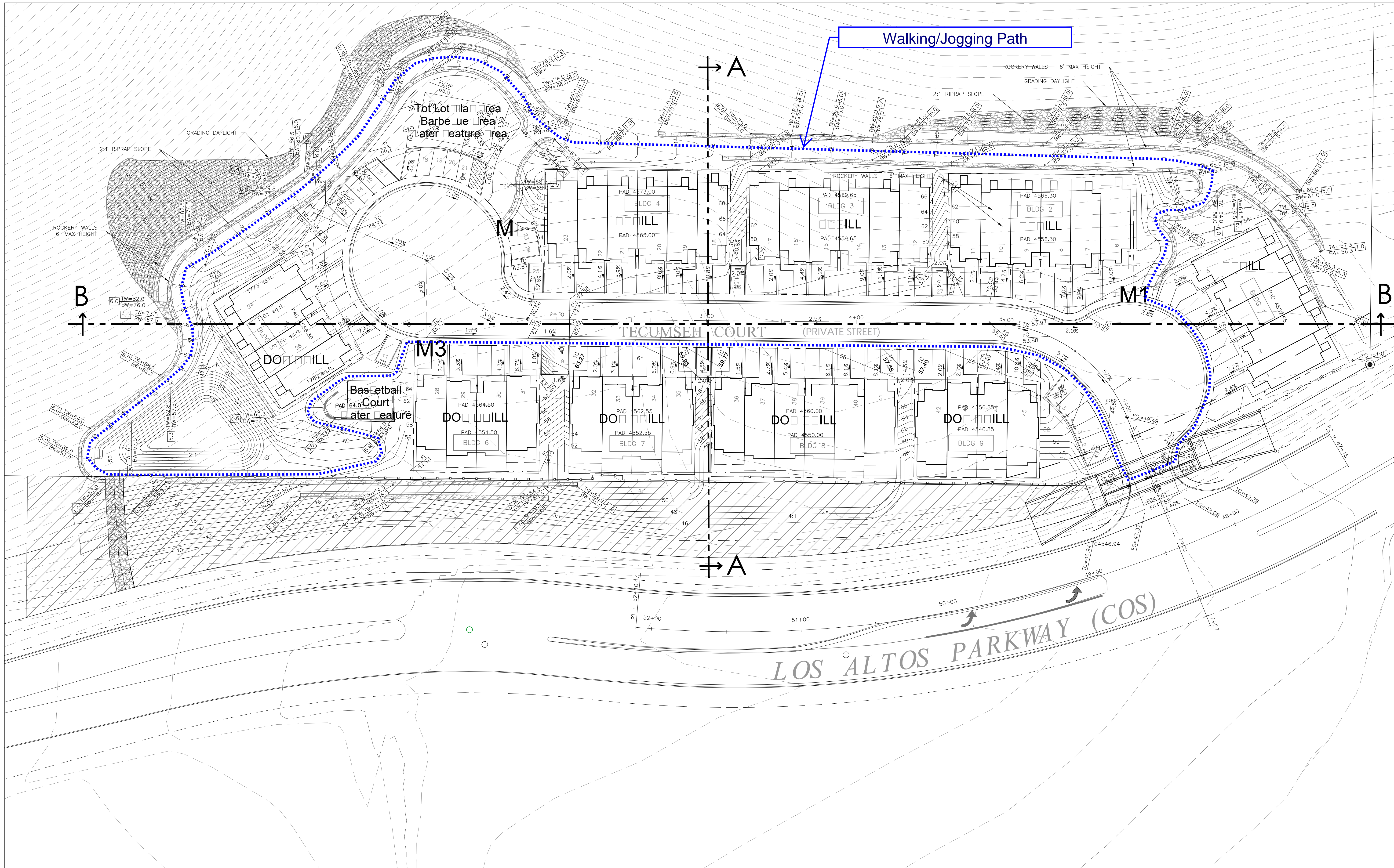
M = 16 Box Mailbox Cluster (3 Total)

- M1 = 16 boxes 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
- M2 = 16 boxes 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
- M3 = 16 boxes 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1



Know what's below.
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NORTH



CHRISTY CORPORATION
1000 Kiley Parkway Sparks Nevada 89436
775.502.8552 christynv.com

REV.	DATE	DESCRIPTION

PRELIMINARY GRADING PLAN FOR
SIERRA VIEW TOWNHOMES
PLANNED DEVELOPMENT
KRATER CONSULTING GROUP
SPARKS, NEVADA

Date: AUGUST 2017
Designed by: SAM
Checked by: DGB
Job No.

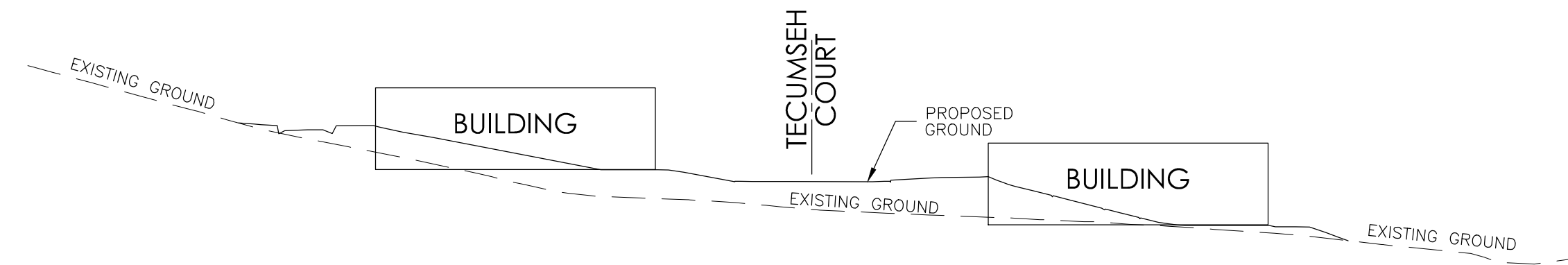
DRAWING
C.1
SHEET 1 OF 2

\\CHRISTYCORP\Data\Jobs\Sierra View Townhomes\DWG\XR-Civil-SVT.dwg 8/22/17 12:01pm dbuck

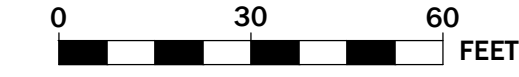
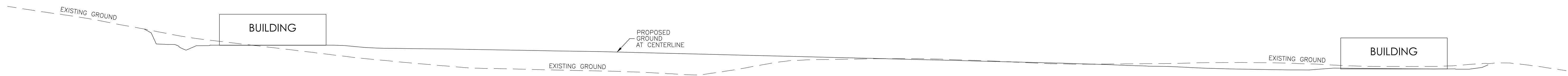
b. CIVIL CROSS SECTIONS

\\CHRISTYCORP\RA_Data\Jobs\Sierra View Townhomes\DWG\XR-Civil-SVT-Cross Section.dwg 8/21/17 4:01pm dbuck

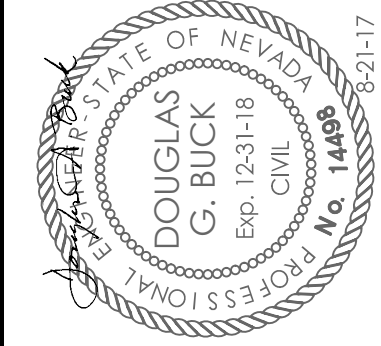
CROSS SECTION "A-A"



CROSS SECTION "B-B"



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CHRISTY
CORPORATION
1000 Kiley Parkway | Sparks, Nevada 89436
775.502.8552 | christynv.com

REV.	DATE	DESCRIPTION	BY

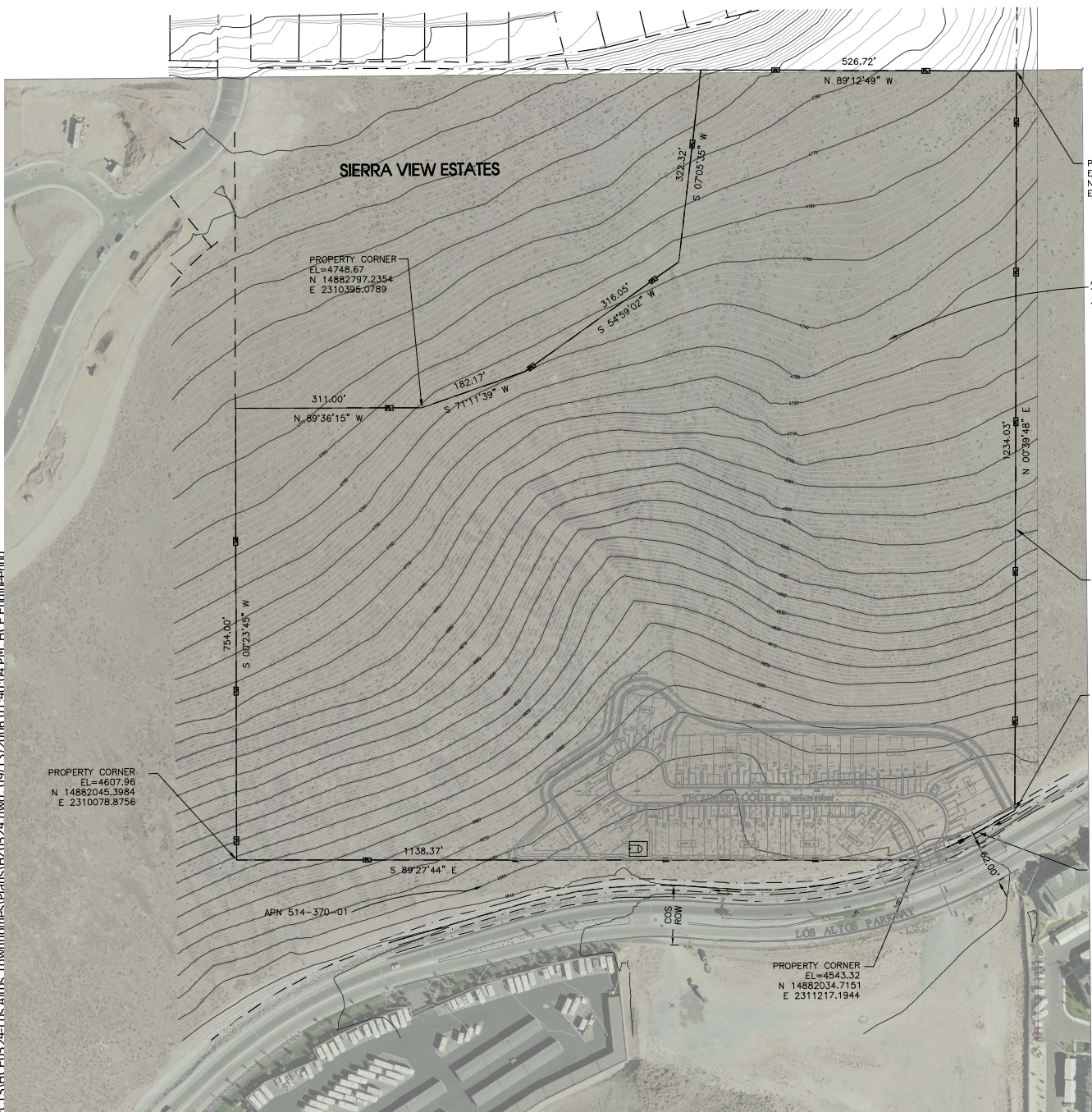
CROSS SECTIONS
SIERRA VIEW TOWNHOMES
PLANNED DEVELOPMENT
KRATER CONSULTING GROUP
SPARKS, NEVADA

Date: AUGUST 2017
Designed by: SAM
Checked by: DGB
Job No.

DRAWING
C.2

PLANNING DOCUMENT

c. OVERALL PARCEL TOPOGRAPHY & NOTES



NOTES

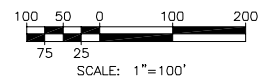
1. TOPOGRAPHIC DATA PROVIDED BY TRI STATE SURVEY.
1. PRIVATE STREETS
 - a. All streets designated as private shall be owned and perpetually maintained by the homeowners association or maintenance management association.
 - b. A blanket underground public utilities easement, including but not limited to Water, Gas, Electric, Sanitary sewer, Storm drain, cable TV, and communications utilities will be provided over all private streets.
2. COMMON AREAS
 - a. Common areas to be privately maintained and perpetually funded by the homeowners association or maintenance management association.
 - b. A blanket underground public utilities easement, including but not limited to Sanitary Sewer, Storm Sewer, Gas, Electric, cable TV, and communications utilities will be provided over all common areas.
 - c. A blanket access easement shall be provided over all common areas.
 - d. A blanket drainage easement shall be provided over all common areas.
 - e. Drainage facilities located within common areas are to be privately maintained and perpetually funded through the homeowners association.
 - f. No owner or tenant shall obstruct a drainage easement or channel within common areas.
 - g. A blanket maintenance access easement shall be provided over all common areas.
 - h. Snow storage shall be within common areas.

MATERIAL SYMBOLS

	AGGREGATE BASE COURSE
	ASHPHALT CEMENT CONCRETE
	GRAVEL
	INSULATION
	IRON, STEEL
	JOINT FILLER
	JOINT SEALANTS
	MASONRY
	PLASTIC
	PORTLAND CEMENT CONCRETE
	ROCK RIP RAP
	SAND
	SOIL, SUBGRADE
	TRENCH BACKFILL
	WOOD

LINE SYMBOLS

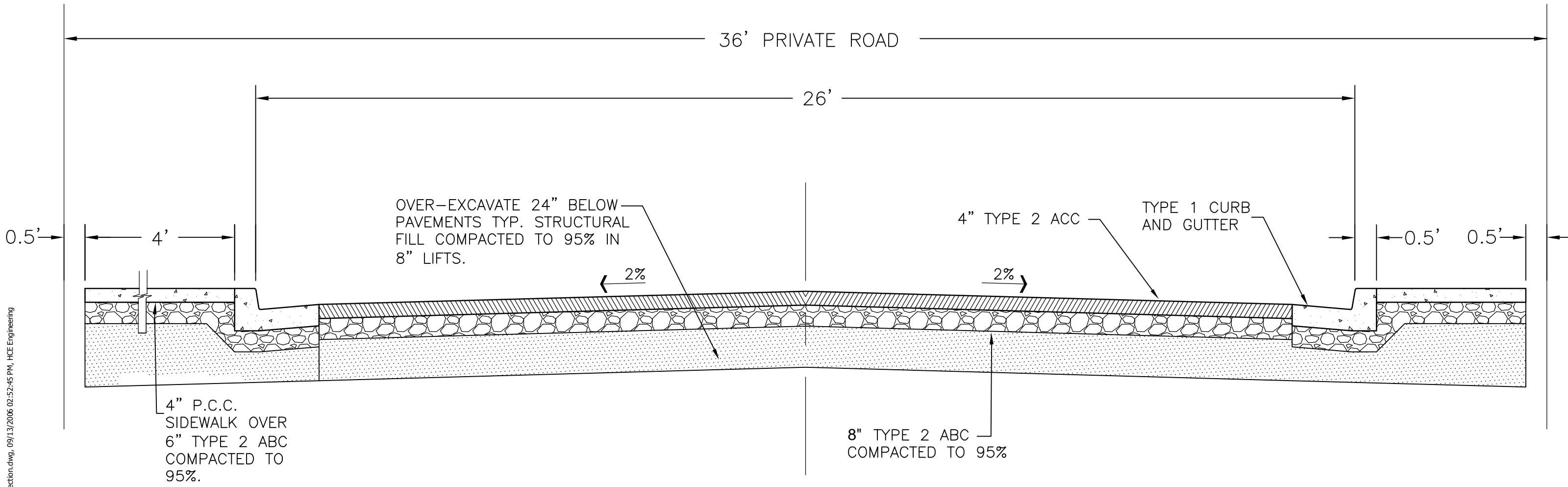
	CL CENTERLINE
	BL CONSTRUCTION BASELINE
	PL PROPERTY LINE
	ROW RIGHT OF WAY
	E EASEMENT
	HIDDEN OR UNDERGROUND
	EXISTING UTILITY
	NEW UTILITY
	G GAS
	W WATER
	SD STORM DRAIN
	SS SANITARY SEWER
	UE ELECTRIC UNDERGROUND CONDUIT
	UTL CATV/ TELEPHONE UNDERGROUND CONDUIT
	OE ELECTRIC OVERHEAD
	BARBED WIRE FENCE
	CHAIN LINK FENCE
	WOOD FENCE



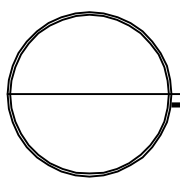
APPENDIX D – ENGINEERING DETAIL SHEETS

a. ROADWAY SECTION

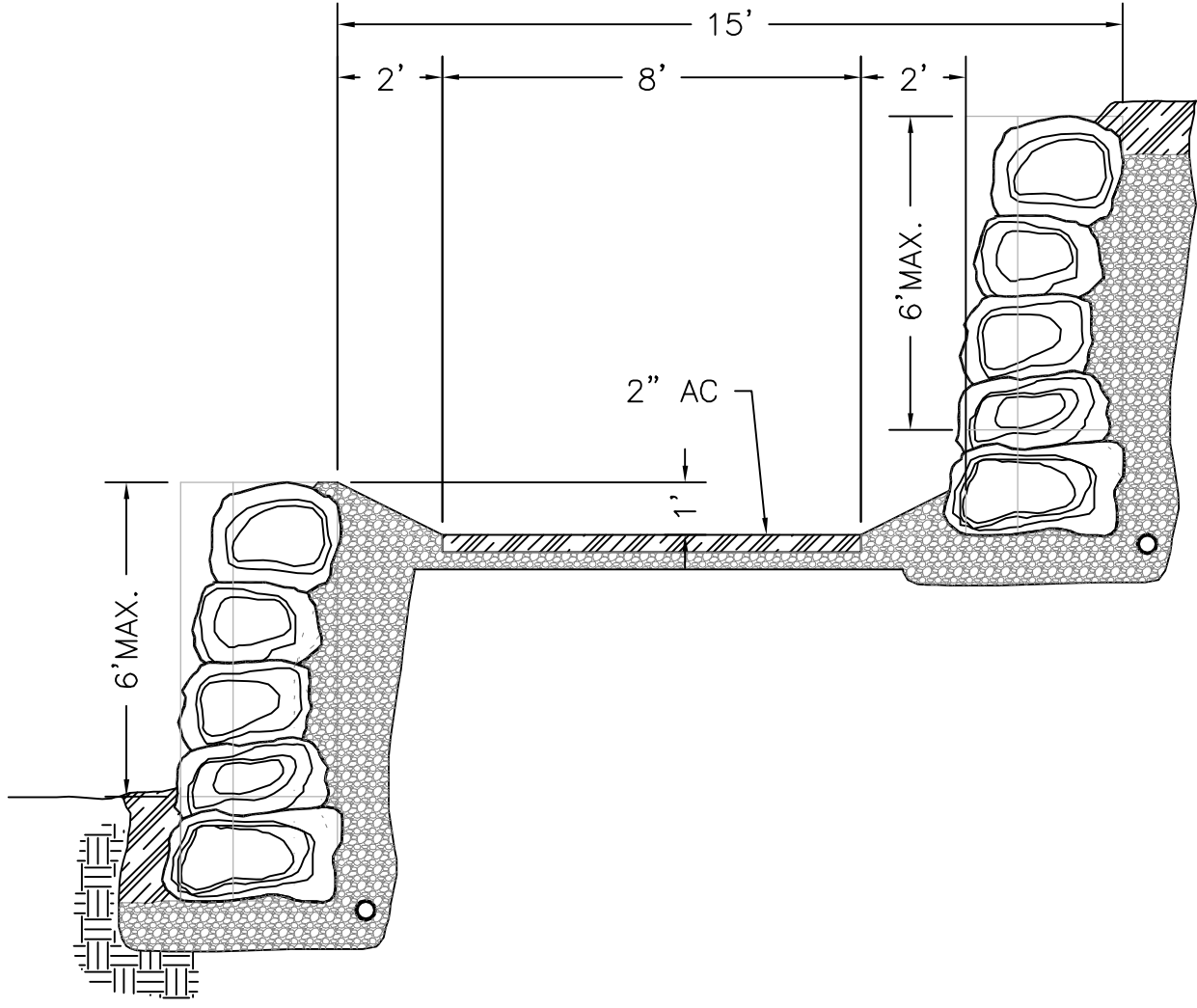
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ROADWAY SECTION



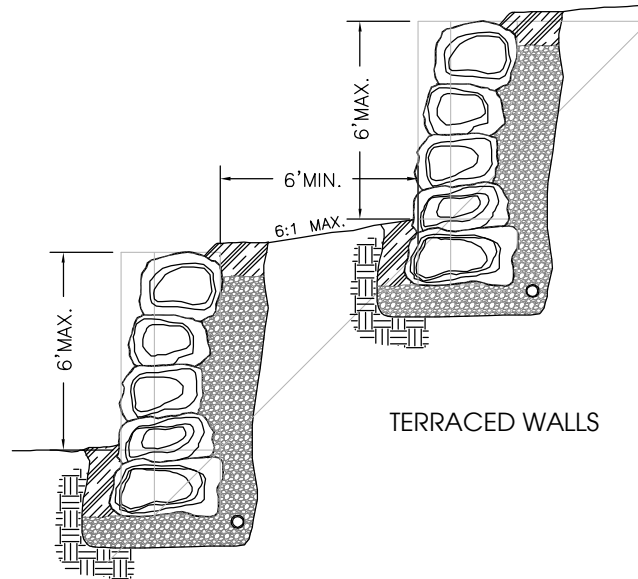
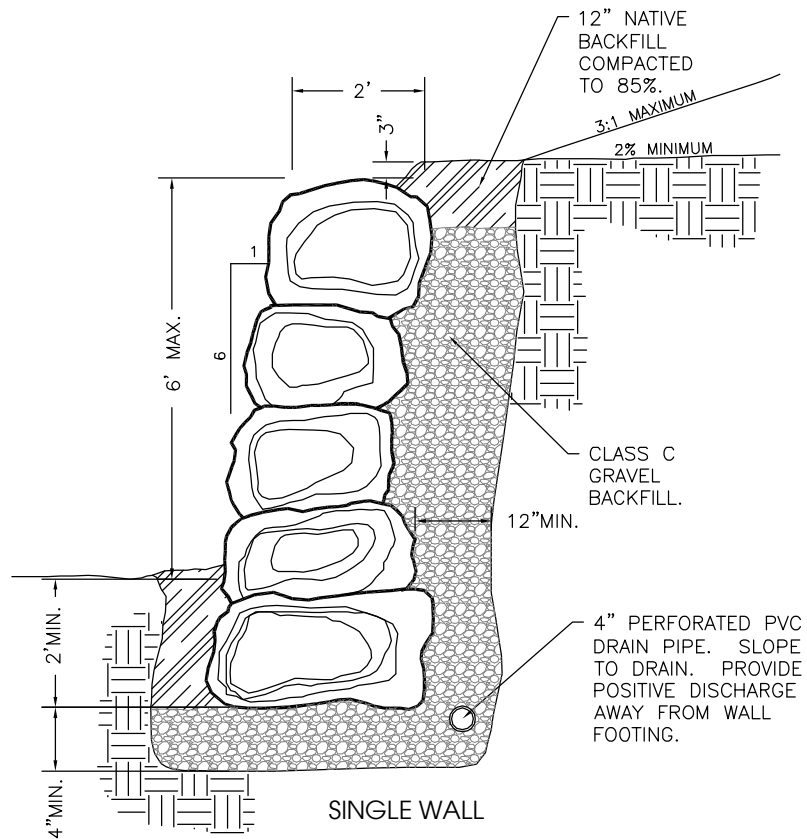
b. ROCKERY WALL WITH INTERCEPTOR SWALE



C
C-4

ROCKERY RETAINING WALL w/ INTERCEPTOR SWALE

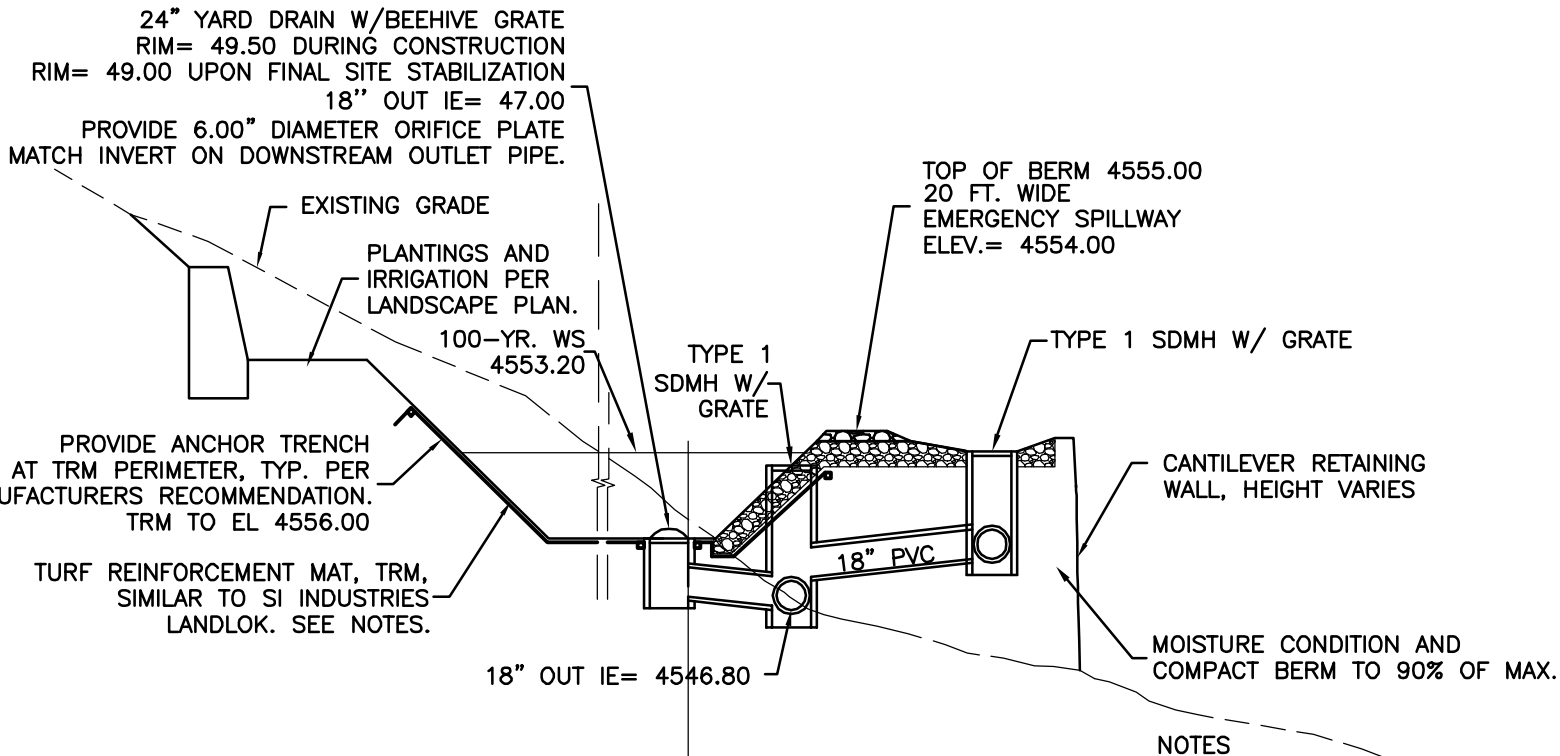
c. ROCKERY RETAINING WALL AND BENCHES



ROCKERY RETAINING WALL NOTES

1. TERRACED WALLS OF ANY HEIGHT AND SINGLE WALLS WITH EXPOSED HEIGHT OF GREATER THAN 2 FT., SHALL BE DESIGNED BY A REGISTERED GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL SUBMIT SEPARATE DETAILS AND ASSOCIATED CALCULATIONS, STAMPED BY A PROFESSIONAL ENGINEER, TO THE PERMITTING AGENCY. THE PERMITTING AGENCY SHALL PROVIDE A SEPARATE CONSTRUCTION PERMIT FOR THE WALLS UPON REVIEW AND APPROVAL OF SEPARATE SUBMITTAL.
2. ROCK SHALL BE ANGULAR AND HAND SELECTED FOR EACH WALL. EACH ROCK SHALL BE FITTED INTO ITS FINAL LOCATION AND CHECKED FOR STABILITY. ROCKS SHALL BE PLACED SUCH THAT THERE ARE NO CONTINUOUS JOINT PLANES, EITHER VERTICALLY OR HORIZONTALLY. EACH ROCK SHALL BEAR ON AT LEAST TWO ROCKS BELOW IT WITH MAXIMUM ROCK TO ROCK CONTACT. ROCK COLOR SHALL BE UNIFORM THROUGHOUT THE INDIVIDUAL WALLS AS APPROVED BY THE OWNER.
3. CHINK VOIDS TO MINIMIZE VOIDS IN THE FACE OF THE WALL.

d. DETENTION CROSS SECTION



NOTES

1. PROVIDE TURF REINFORCEMENT MAT, TRM, ON INTERIOR DETENTION BASIN SLOPES. PROVIDE ANCHOR TRENCH AT 20 FT. ON CENTER EACH WAY, AROUND PERIMETER OF MAT, AND AS RECOMMENDED BY THE MANUFACTURERS RECOMMENDATION.
2. PROVIDE PLANTINGS AND IRRIGATION PER LANDSCAPE PLAN.
3. PROVIDE STAPLE ANCHORS ON 3 FT. ON CENTER EACH WAY PER MANUFACTURERS RECOMMENDATION.
4. PROVIDE LOW FLOW CHANNEL ON BOTTOM OF DETENTION POND TO CONVEY NUISANCE FLOWS TO OUTLET.

DETENTION CROSS SECTION A-A

